

**MANASQUAN PLANNING BOARD MEETING AGENDA
CONDUCTED WITH ZOOM
JULY 07, 2020 7:00 PM – TUESDAY**

Join Zoom Meeting
<https://uso2web.zoom.us/j/85213467956>
OR
Tel – 1-646 876 9923 US (New York)
ID # 261 009 5007
Password 281 797

Please take notice that the Manasquan Planning Board will convene a remote meeting on July 07, 2020 7:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

PUBLIC MEETING

Salute to the Flag
Roll Call
Sunshine Law Announcement

OLD/NEW BUSINESS

1. Manasquan Planner Jennifer Beahm - Update on Ordinance 2321-20
2. Ordinance 2321-20 Amending Affordable Housing AR-2 Zone Ordinance 2287-20
3. Approval of Minutes - June 16, 2020
4. Approval of Vouchers

RESOLUTIONS

1. 15-2020 Saker/Winckowski - 157 South Street, Block: 9, Lot: 27
2. 16-2020 RALCO - 92, 94 Marcellus Avenue, LLC - (111 Union Avenue) Minor Subdivision

APPLICATION

1. #14-2020 - Suppa, Michael - 45 First Avenue - Block: 166 - Lot: 20 - Zone: R-2 - Bulk Variances
2. #31-2019 - Vasilenko, Dave -43 Taylor Avenue - Block: 62 - Lot: 13 - Zone: 0

OTHER BUSINESS

Comments from individual board members

**BOROUGH OF MANASQUAN
ORDINANCE NO. 2321-20**

**ORDINANCE AMENDING AND SUPPLEMENTING
CHAPTER 35 (ZONING) AFFORDABLE HOUSING AR-2
ZONE OF THE BOROUGH OF MANASQUAN CODE
IN THE BOROUGH OF MANASQUAN, COUNTY OF
MONMOUTH, STATE OF NEW JERSEY.**

WHEREAS, pursuant to the revised General Ordinance of the Borough of Manasquan code refers to affordable housing AR-2 Zone provisions in the Borough of Manasquan; and

WHEREAS, the Manasquan Borough Council of the Borough of Manasquan is desirous of amending this ordinance specifying building height measurements in the AR-2 Zone, in the Borough of Manasquan;

NOW THEREFORE BE IT ORDAINED AS FOLLOWS:

Section 1: Chapter 35 (Zoning), Ordinance entitled AR-2 Zone of the revised general ordinances of the Borough of Manasquan is amended and should read as follows:

The purpose of the Affordable Housing AR-2 Zone (“AR-2 Zone”) is to provide for the development of a multi-family inclusionary development designed to assist the Borough in satisfying its combined Prior Round and Round 3 (1999-2025) Realistic Development Potential (“RDP”) affordable housing obligation through construction of affordable units set aside for low and moderate income households. The AR-2 Zone shall comprise the following tax lots: Lot 31.01, Block 66.02. This Ordinance is adopted in furtherance of the Settlement Agreement entered into between the Borough and Fair Share Housing Center (“FSHC”) on July 2, 2018 (hereinafter “FSHC Settlement Agreement”), the Settlement Agreement entered into between the Borough and Broad Street 33, LLC and Union Avenue 33, LLC (hereinafter the “Sepe Settlement Agreement”), and in connection with the Borough’s Mount Laurel litigation captioned at MON-L-2508-15.

- (1) Permitted principal uses. Market rate and affordable residential housing within a multi-family building. A maximum of twenty-three (23) units are permitted, with an on-site affordable housing set-aside provided. The required affordable housing set-aside shall be twenty percent (20%) of the total number of units developed at this site (Lot 31.01, Block 66.02), and the site known as Lots 25.01, 25.02, 26 & 27, Block 64 (the “Broad Street Site”). For example, it is anticipated that a total of 45 residential units will be developed at both sites, which will require a twenty percent (20%) affordable housing set-aside of nine (9) total affordable family rental housing units to be developed on the Union Avenue site. In addition, the affordable housing phasing requirement in the Sepe Settlement Agreement will apply to both the Broad Street Site and the Union Avenue Site.
- (2) Permitted accessory uses.
 - (a) Off-street parking facilities
 - (b) Other uses that are customarily incidental to a permitted principal use.
 - (c) Common facilities and amenities serving the residents of the multi-family developments including swimming pools and other on-site recreational areas and facilities, common walkways, sitting areas and gardens, and other similar uses.
 - (d) Fences and walls erected, maintained or planted no greater than six (6) feet above ground level within a side or rear yard, and no greater than four (4) feet within a front yard, and otherwise in accordance with the standards of Section 35-7.5.
 - (e) Bike racks.
 - (f) Solid waste and recycling area, setback at least five (5) ft. from any rear or side yard. No setback from the parking area is required. The area shall be screened from view from a public right-of-way by either

an enclosed by six (6) foot chain link fence with vinyl strips, or a combination of block and chain link fence, and shall have gated access.

(g) Site lighting. The arrangement of exterior lighting shall adequately illuminate parking areas and prevent glare to adjoining residential areas.

(3) Prohibited uses.

(a) Parking or storage of boats, boat trailers, motor homes, and recreational vehicles.

(4) Bulk, area and building requirements.

(a) Minimum lot size	24,000 square feet
(b) Minimum lot frontage	130 feet
(c) Minimum lot depth	240 feet
(d) Minimum front yard setback	10 feet
(e) Minimum one side yard setback	4 feet
(f) Minimum both side yard setback	9feet
(g) Minimum rear yard setback	20 feet
(h) Maximum building height	40feet/ 3.5 stories ¹⁽²⁾
(i) Maximum building coverage	60%
(j) Maximum lot coverage	60%
(k) Maximum Building Width	100 feet
(l) Maximum Building Length	200 feet
(m) Minimum parking setback from side lot line	5 feet
(n) Minimum parking setback rear from lot line	20 feet

(5) Site access, off-street parking, and loading requirements.

- a. One site access driveway shall be provided with a minimum width of 24 ft.
- b. Number of parking spaces = .6/ unit²
- c. Parking shall be in the rear yard, and may also be provided beneath the principal building, without setback from a principal or accessory building.
- d. No Loading space is required.

(6) Identification Sign. One (1) wall mounted, non-illuminated address sign is permitted with a maximum sign area of five (5) square feet.

(7) Design Standards. A multi-family building should have a unified theme, displayed through the application of common building materials consistent with the rendering attached to the Sepe Settlement Agreement as Exhibit B, and the material list as Exhibit E, or as may be modified as permitted by the Settlement Agreement. If the rendering conflicts with design standards or regulations within the zoning ordinance the rendering shall control.

(8) Miscellaneous. The standards of Section 35-7.9 b and shall not apply.

¹ Chimneys and cupolas are not counted towards building height.

² Building Height will be measured from one (1) foot above the Base Flood Elevation as established by the NJDEP

3. The off-street parking requirement can be met through use of available on-street parking. Shared parking arrangements with properties within ½ mile of the site shall also be permitted.

PUBLIC NOTICE IS HEREBY GIVEN that Ordinance No. 2321-20 is being introduced at a meeting of the Mayor and Council of the Borough of Manasquan on the 6th day of July 2020 and read for the first time. The said Ordinance is going to be considered for final passage by the Mayor and Council at a meeting to be held at 7:00 p.m. on the 20th day of July, 2020. At such time and place, or at any such time and place to which said meeting may be adjourned, all interested persons will be given an opportunity to be heard concerning said ordinance. A copy of this ordinance can be obtained without cost by any member of the general public at the office of the Municipal Clerk in Borough Hall between the hours of 9:00 a.m. and 4:00 p.m. on Monday through Friday, except on legal holidays.

BARBARA ILARIA, RMC, CMC
Municipal Clerk

Mark G. Kitrick, Esquire
Municipal Attorney
2329 Route 34 South, Suite 104
Manasquan, New Jersey 08736

Passed on First Reading and Introduction: July 6, 2020
Approved on Second Reading and Final Hearing: July 20, 2020

Edward Donovan
Mayor

PURCHASE ORDER NO

This number must appear on Invoices, B/L, Bundles, Cases, Packing List, Delivery Receipts and all Correspondence.

BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE

CHECK NO.

P.O.#: Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 6/26/20

DATE REQUIRED

VENDOR: BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

STATE CONTRACT#

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	VAR - SUPPA - B166 L20 MSPB-R1240			\$ 437.50
	INVOICE MSPB1240-1 <i>T-03-90-900-175</i>			
	<i>Per Bd app # 14-2020 Escrow 45 1st Ave</i>			
			Total	\$ 437.50
	AMY SPERA, CFO	<i>[Signature]</i>		

VENDOR: THIS VOUCHER SHALL BE SIGNED & RETURNED TO THE TOWNSHIP TREASURER WITH YOUR INVOICE.

UNLESS OTHERWISE INDICATED, ALL PRICES ARE F.O.B. DESTINATION, FREIGHT PREPAID & CHARGED BACK.

VENDOR'S CERTIFICATION AND DECLARATION

I do solemnly declare under the penalties of the Law that the within bill is correct in all its particulars: that the articles have been furnished or services rendered as stated therein; that no bonus has been given or received by any person or persons within the knowledge of this claimant in connection with the above claim; that the amount therein stated is justly due and owing; and that the amount charged is a reasonable one

The items specified in the above account were necessary for the purposes of this department and were authorized by the undersigned, in conformity with the ordinances of Borough of Manasquan for the use and benefit of said Borough. Each item has been received and its quality is as ordered. The work specified has been properly done and each price charged is correct. No price is higher than the prevailing market price as far as we can ascertain, or more than the contract price.

SIGNATURE *[Signature]*
POSITION President DATE 6/26/20

SIGNATURE _____ (FINANCE CHAIRMAN)

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. #47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPB1240-1
Invoice Date: 6/26/2020

Attention: Mary Salerno

For Professional Services Processed through: 6/26/2020

RE: VAR Suppa - B166 L20

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	3.50 \$	125.00 \$	<u>437.50</u>
		TOTAL \$	437.50

AMOUNT DUE THIS INVOICE \$ 437.50

Invoice Detail

Invoice Number: MSPB1240-1

Invoice Date: 6/26/2020

VAR Suppa - B166 L20

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert D.	5/15/2020	1.00	Field review Completeness rev
Principal	Yodakis, Albert D.	5/21/2020	2.00	Zoning/technical review draft report
Principal	Yodakis, Albert D.	5/28/2020	0.50	Finalize Report to Board

Total Principal: 3.50

PURCHASE ORDER NO

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BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE

CHECK NO.

P.O.#: Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 6/26/20

DATE REQUIRED

STATE CONTRACT#

VENDOR: BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	MN - RALCO MINOR SUB - B69 L42,43 MSPB-R1220			\$ 250.00
	<i>T-03-90-900-176</i>			
	INVOICE MSPB1220-2 <i>P1 Bd app #15-2020 Escrow</i> <i>92-94 Hercules Ave</i>			
			Total	\$ 250.00
	AMY SPERA, CFO	<i>l</i>		

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SIGNATURE *Art Sp*

SIGNATURE _____ (FINANCE CHAIRMAN)

POSITION President DATE 6/26/20

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. #47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPB1220-2
Invoice Date: 6/26/2020

Attention: Mary Salerno

For Professional Services Processed through: 6/26/2020

RE: Minor Sub - Ralco- B69 L42,43

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	2.00 \$	125.00 \$	<u>250.00</u>
		TOTAL \$	250.00
		AMOUNT DUE THIS INVOICE \$	250.00

Invoice Detail

Invoice Number: MSPB1220-2

Invoice Date: 6/26/2020

Minor Sub - Ralco- B69 L42,43

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert D.	6/8/2020	1.00	Review grading plans discuss w/ appl's engineer
Principal	Yodakis, Albert D.	6/16/2020	1.00	Prep for & attend 6/16/20 PB meeting

Total Principal: 2.00

PURCHASE ORDER NO

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BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE

CHECK NO.

P.O.#: Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 6/26/20

DATE REQUIRED

VENDOR: BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

STATE CONTRACT#

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

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QUANTITY/UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	VAR - SAKER - B9 L27 MSPB-R1200	T-03-90-900-173		\$ 62.50
	INVOICE MSPB1200-2 PI Bl app # 12-2020 157-157 1/2 South St	Escrow	Total	\$ 62.50
	AMY SPERA, CFO			

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SIGNATURE

[Signature]
President DATE 6/26/20

SIGNATURE

(FINANCE CHAIRMAN)

POSITION

SIGNATURE

(FINANCE COMMITTEE)

SOCIAL SECURITY NO.

SIGNATURE

(FINANCE COMMITTEE)

EMPLOYER I.D. #47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPB1200-2
Invoice Date: 6/26/2020

Attention: Mary Salerno

For Professional Services Processed through: 6/26/2020

RE: VAR Saker - B9 L27

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	0.50 \$	125.00 \$	<u>62.50</u>
		TOTAL \$	62.50
		AMOUNT DUE THIS INVOICE \$	62.50

Invoice Detail

Invoice Number: MSPB1200-2

Invoice Date: 6/26/2020

VAR Saker - B9 L27

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert D.	6/2/2020	0.50	Prep for & attend 6/2/20 PB meeting

Total Principal: 0.50

PURCHASE ORDER NO

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BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE _____

CHECK NO. _____

P.O.#: _____ Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 6/26/20

DATE REQUIRED _____

STATE CONTRACT# _____

VENDOR: BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

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QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	SP - RALCO - B71 L102.04 MSPB-R0951 INSPECTION INVOICE MSPB0951-4 <i>T-03-90-900-161</i> <i>PI Bd App # 24-2019- Escrew</i>			\$ 687.50
			Total	\$687.50
	AMY SPERA, CFO	<i>R</i>		

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SIGNATURE *Alt*

SIGNATURE _____ (FINANCE CHAIRMAN)

POSITION President DATE 6/26/20

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. #47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPB0951-4
Invoice Date: 6/26/2020

Attention: Mary Salerno

For Professional Services Processed through: 6/26/2020

RE: SP Ralco - B71 L102.04 Inspection

Services rendered are detailed on the attached sheets

LABOR
Principal

HOURS	RATE	AMOUNT
5.50 \$	125.00 \$	<u>687.50</u>
	TOTAL \$	687.50

AMOUNT DUE THIS INVOICE \$ 687.50

Invoice Detail

Invoice Number: MSPB0951-4

Invoice Date: 6/26/2020

SP Ralco - B71 L102.04 Inspection

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert D.	5/26/2020	0.50	Site review lighting bases and locations
Principal	Yodakis, Albert D.	6/3/2020	0.50	Site review rear yard grading after rain event
Principal	Yodakis, Albert D.	6/8/2020	0.50	Review DOT permit & conditions
Principal	Yodakis, Albert D.	6/10/2020	0.50	Site review
Principal	Yodakis, Albert D.	6/17/2020	2.00	inspect r-blend install. parking lot subbase/curb respond to neighbor complaint
Principal	Yodakis, Albert D.	6/23/2020	1.50	inspect paver install. DOT curb and sidewalk
Total Principal:			<hr/>	5.50

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and all Correspondence.

BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE _____

CHECK NO. _____

P.O.#: _____ Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1986).

DATE 6/26/20


DATE REQUIRED _____

VENDOR: BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

STATE CONTRACT# _____

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

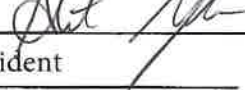
QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	2020 MEETING ATTENDANCE MSPB-G2001 INVOICE MSPBG2006 <i>Planning Board General Fund</i>	1		\$150.00
			Total	\$150.00
_____ AMY SPERA, CFO				

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SIGNATURE 
POSITION President DATE 6/26/20

SIGNATURE _____ (FINANCE CHAIRMAN)

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. # 47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPBG2006
Invoice Date: 6/26/2020

Attention: Mary Salerno

For Professional Services Processed through: 6/26/2020

RE: 2020 Meeting Attendance

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	1.20 \$	125.00 \$	<u>150.00</u>
		TOTAL \$	150.00
		AMOUNT DUE THIS INVOICE \$	150.00

Invoice Detail

Invoice Number: MSPBG2006

Invoice Date: 6/26/2020

2020 Meeting Attendance

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert	6/2/2020	1.20	Prep for & attend 6/2/20 Zoom P.B. Meeting
Total Principal:			<u>1.20</u>	

PURCHASE ORDER NO

This number must appear on:
Invoices, B/L, Bundles, Cases,
Packing List, Delivery Receipts
and all Correspondence.

BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE

CHECK NO.

P.O.#: Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 4/23/20

DATE REQUIRED

VENDOR: BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

STATE CONTRACT#

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	SP - RALCO - B71 L102.04 MSPB-R0951			\$ 531.25
	INVOICE MSPB0951-2	T-03-90-900-161		
	Pl Bl app # 24-2019 139 Union Ave			
			Total	\$ 531.25
	AMY SPERA, CFO			

VENDOR: THIS VOUCHER SHALL BE SIGNED & RETURNED TO THE TOWNSHIP TREASURER WITH YOUR INVOICE.
UNLESS OTHERWISE INDICATED, ALL PRICES ARE F.O.B. DESTINATION, FREIGHT PREPAID & CHARGED BACK.

VENDOR'S CERTIFICATION AND DECLARATION

I do solemnly declare under the penalties of the Law that the within bill is correct in all its particulars: that the articles have been furnished or services rendered as stated therein; that no bonus has been given or received by any person or persons within the knowledge of this claimant in connection with the above claim; that the amount therein stated is justly due and owing; and that the amount charged is a reasonable one

The items specified in the above account were necessary for the purposes of this department and were authorized by the undersigned, in conformity with the ordinances of Borough of Manasquan for the use and benefit of said Borough. Each item has been received and its quality is as ordered. The work specified has been properly done and each price charged is correct. No price is higher than the prevailing market price as far as we can ascertain, or more than the contract price.

SIGNATURE AMY SPERA 6/25/20

SIGNATURE _____ (FINANCE CHAIRMAN)

POSITION President DATE _____

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. # 47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPB0951-2
Invoice Date: 4/23/2020

Attention: Mary Salerno

For Professional Services Processed through: 4/23/2020

RE: SP Ralco - B71 L102.04

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	4.25 \$	125.00 \$	<u>531.25</u>
		TOTAL \$	531.25
		AMOUNT DUE THIS INVOICE \$	531.25

Invoice Detail

Invoice Number: MSPB0951-2

Invoice Date: 4/23/2020

SP Ralco - B71 L102.04

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert D.	4/8/2020	3.00	Site review/rev status w/ borough Resolution Compliance rev/report Bond/inspection estimate
Principal	Yodakis, Albert D.	4/13/2020	1.25	Review revised plan submission respond to borough
Total Principal:			<hr/>	4.25

PURCHASE ORDER NO

This number must appear on Invoices, Bils, Bundles, Cases, Packing List, Delivery Receipts and all Correspondence.

BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE

CHECK NO.

P.O.#: Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 4/23/20

DATE REQUIRED

VENDOR:

BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

STATE CONTRACT#

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	SP - FUNGIRL LLC- B32 L1.05 MSPB-R0960			\$ 312.50
	INVOICE MSPB0960-1	T-03-90-900-157		
	Al Bt app #19-2019- Escrow			
			Total	\$ 312.50

*Sign & I'll
process when I
receive
write for
additional \$*

VENDOR

VENDOR

I do solemnly swear that no part of this document is false or unjustly obtained.

SIGNATURE [Signature]
POSITION President DATE _____

SOCIAL SECURITY NO. _____

EMPLOYER I.D. # 47-1033113 CORPORATION: YES NO

FORWARDED TO THE TOWNSHIP TREASURER WITH YOUR INVOICE.
F.O.B. DESTINATION, FREIGHT PREPAID & CHARGED BACK.

The items specified in the above account were necessary for the purposes of this department and were authorized by the undersigned, in conformity with the ordinances of Borough of Manasquan for the use and benefit of said Borough. Each item has been received and its quality is as ordered. The work specified has been properly done and each price charged is correct. No price is higher than the prevailing market price as far as we can ascertain, or more than the contract price.

SIGNATURE _____ (FINANCE CHAIRMAN)
SIGNATURE _____ (FINANCE COMMITTEE)
SIGNATURE _____ (FINANCE COMMITTEE)

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPB0960-2
Invoice Date: 4/23/2020

Attention: Mary Salerno

For Professional Services Processed through: 4/23/2020

RE: SP Fun Girl LLC - B32 L1.05

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	2.50 \$	125.00 \$	<u>312.50</u>
		TOTAL \$	312.50
		AMOUNT DUE THIS INVOICE \$	312.50

Invoice Detail

Invoice Number: MSPB0960-2

Invoice Date: 4/23/2020

SP Fun Girl LLC - B32 L1.05

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert D.	4/17/2020	2.50	Resolution Compliance rev/report Bond/inspection estimate

Total Principal: 2.50

PURCHASE ORDER NO

This number must appear on
Invoices, B/L, Bundles, Cases,
Packing List, Delivery Receipts
and all Correspondence.

BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE _____

CHECK NO. _____

P.O.#: _____ Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 4/23/20

DATE REQUIRED _____

VENDOR: BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

STATE CONTRACT# _____

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	2020 MEETING ATTENDANCE			\$562.50
	MSPB-G2001			
	INVOICE MSPBG2004			
	<i>Planning Dept General Fund</i>			
			Total	\$562.50
	AMY SPERA, CFO			

VENDOR: THIS VOUCHER SHALL BE SIGNED & RETURNED TO THE TOWNSHIP TREASURER WITH YOUR INVOICE.

UNLESS OTHERWISE INDICATED, ALL PRICES ARE F.O.B. DESTINATION, FREIGHT PREPAID & CHARGED BACK.

VENDOR'S CERTIFICATION AND DECLARATION

I do solemnly declare under the penalties of the Law that the within bill is correct in all its particulars: that the articles have been furnished or services rendered as stated therein; that no bonus has been given or received by any person or persons within the knowledge of this claimant in connection with the above claim; that the amount therein stated is justly due and owing; and that the amount charged is a reasonable one

The items specified in the above account were necessary for the purposes of this department and were authorized by the undersigned, in conformity with the ordinances of Borough of Manasquan for the use and benefit of said Borough. Each item has been received and its quality is as ordered. The work specified has been properly done and each price charged is correct. No price is higher than the prevailing market price as far as we can ascertain, or more than the contract price.

SIGNATURE *[Signature]* DATE 8/25/20

SIGNATURE _____ (FINANCE CHAIRMAN)

POSITION President DATE _____

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. # 47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPBG2004
Invoice Date: 4/23/2020

Attention: Mary Salerno

For Professional Services Processed through: 4/23/2020

RE: 2020 Meeting Attendance

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	4.50 \$	125.00 \$	<u>562.50</u>
		TOTAL \$	562.50

AMOUNT DUE THIS INVOICE \$ 562.50

Invoice Detail

Invoice Number: MSPBG2004

Invoice Date: 4/23/2020

2020 Meeting Attendance

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert	3/12/2020	4.00	Prep ordinance drafts per PB request Bamboo, fence height, fill, stormwater, outdoor showers and fees
Principal	Yodakis, Albert	4/21/2020	0.5	Prep for & attend 4/21/20 phone P.B. Meeting

Total Principal:

 4.50

PURCHASE ORDER NUMBER This number must appear on Invoices, B/L, Bundles, Cases, Packing List, Delivery Receipts and all Correspondence.

**BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736**

PAYMENT RECORD

DATE _____

CHECK NO. _____

P.O.#: _____ **Vendor #:** _____

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE _____

DATE REQUIRED _____

STATE CONTRACT# _____

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

VENDOR: George D. McGill, Esq.
McGill&Hall, LLC
708 10th Ave
Belmar, NJ, 07719

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/UNI	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	Prof-Legal Services Borough of Manasquan Planning Board General Account Fees for professional legal fees rendered Borough Account - Planning Board of the Borough of Manasquan As described on Invoice 10413			<u>\$348.00</u>
	_____ AMY SPERA, CFO			

VENDOR: THIS VOUCHER SHALL BE SIGNED & RETURNED TO THE TOWNSHIP TREASURER WITH YOUR INVOICE.

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VENDOR'S CERTIFICATION AND DECLARATION

I do solemnly declare under the penalties of the Law that the within bill is correct in all its particulars: that the articles have been furnished or services rendered as stated therein; that no bonus has been given or received by any person or persons within the knowledge of this claimant in connection with the above claim; that the amount therein stated is justly due and owing; and that the amount charged is a reasonable one

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SIGNATURE _____

SIGNATURE _____ (FINANCE CHAIRMAN)

POSITION Board Attorney DATE 6-29-20

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. # _____ CORPORATION: YES NO

McGill and Hall, L.L.C.
 P.O. Box 150
 708 10th Avenue, Second Floor
 Belmar, NJ 07719

INVOICE

Manasquan, Planning Board of the Borough of
 201 East Main Street
 Manasquan, NJ 08736

Invoice 10413

Date	Jun 29, 2020
Terms	
Service Thru	Jun 29, 2020

In Reference To: Borough Account - Planning Board of the Borough of Manasquan (work)

Date	By	Services	Hours	Rates	Amount
06/02/2020	GDM	Meeting: Tcw Chair regarding handling upcoming meeting.	0.20	\$ 120.00/hr	\$ 24.00
06/02/2020	GDM	Meeting: Appear at regular meeting of Planning Board	Flat Fee	\$ 150.00	\$ 150.00
06/09/2020	GDM	Phone Call: Tcw Mary Salerno regarding the need to publish the meeting information in the paper.	0.20	\$ 120.00/hr	\$ 24.00
06/16/2020	GDM	Meeting: Appear at regular meeting of the Planning Board.	Flat Fee	\$ 150.00	\$ 150.00
Total Hours					0.40 hrs
Total work					\$ 348.00
Total Invoice Amount					\$ 348.00
Previous Balance					\$ 996.00
Balance (Amount Due)					\$ 1,344.00

PURCHASE ORDER NUMBER This number must appear on Invoices, B/L, Bundles, Cases, Packing List, Delivery Receipts and all Correspondence.

BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE _____

CHECK NO. _____

P.O.#: _____ Vendor #: _____

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE _____

DATE REQUIRED _____

STATE CONTRACT# _____

VENDOR: George D. McGill, Esq.
McGill&Hall, LLC
708 10th Ave
Belmar, NJ, 07719

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
d	Prof-Legal Services Borough of Manasquan Planning Board Fees for professional legal fees rendered Ralco - 92-94 Marcellus Ave, LLC As described in Invoice No. 10417			<u>\$528.00</u>
	_____ AMY SPERA, CFO			

VENDOR: THIS VOUCHER SHALL BE SIGNED & RETURNED TO THE TOWNSHIP TREASURER WITH YOUR INVOICE.

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SIGNATURE _____

SIGNATURE _____ (FINANCE CHAIRMAN)

POSITION Board Attorney DATE 6-25-30

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. # _____ CORPORATION: YES NO

McGill and Hall, L.L.C.
 P.O. Box 150
 708 10th Avenue, Second Floor
 Belmar, NJ 07719

INVOICE

Manasquan, Planning Board of the Borough of
 201 East Main Street
 Manasquan, NJ 08736

Invoice 10417

Date	Jun 29, 2020
Terms	
Service Thru	Jun 29, 2020

In Reference To: Ralco - Hawes (work)

Date	By	Services	Hours	Rates	Amount
06/02/2020	GDM	Review: Review matter for notice requirements, review matter for status of minor or major subdivision, review of email from Al Yodakis as to effect of drainage on minor subdivision status:, tcw Kevin Starkey discussing notice and status as a minor v. major subdivision.	0.80	\$ 120.00/hr	\$ 96.00
06/16/2020	GDM	Preparation: Review application and report of Board Engineer, review of emails from Al Yodakis regarding drainage issue, tcw Kevin Starkey, Esq., to go over virtual procedures	1.10	\$ 120.00/hr	\$ 132.00
06/29/2020	GDM	Draft: Review of plans and notes, email to Kevin Starkey and tcw Ray Carpenter's office seeking the pdf as plans not readable in detail, prepare resolution, email to Borough Clerk	2.50	\$ 120.00/hr	\$ 300.00

Total Hours	4.40 hrs
Total work	\$ 528.00
Total Invoice Amount	\$ 528.00
Previous Balance	\$ 0.00
Balance (Amount Due)	\$ 528.00

PURCHASE ORDER NUMBER This number must appear on Invoices, B/L, Bundles, Cases, Packing List, Delivery Receipts and all Correspondence.

BOROUGH OF MANASQUAN
 201 EAST MAIN STREET
 MANASQUAN, NJ 08736

PAYMENT RECORD

DATE _____

CHECK NO. _____

P.O.#: _____ **Vendor #:** _____

SHIP TO: Borough of Manasquan
 201 East Main St
 Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
 PROVISION OF NJ SALES & USE TAX
 ACT (CHAPTER 30, LAW OF 1966).

DATE _____

DATE REQUIRED _____

STATE CONTRACT# _____

IF FURTHER INFORMATION IS REQUIRED
 CONTACT PURCHASING OFFICE (732) 223-2292

VENDOR: George D. McGill, Esq.
 McGill&Hall, LLC
 708 10th Ave
 Belmar, NJ, 07719

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
d	Prof-Legal Services Borough of Manasquan Planning Board Fees for professional legal fees rendered Saker 157 South Street As described on Invoice No. 10418			<u>\$480.00</u>
	_____ AMY SPERA, CFO			

VENDOR: THIS VOUCHER SHALL BE SIGNED & RETURNED TO THE TOWNSHIP TREASURER WITH YOUR INVOICE.

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VENDOR'S CERTIFICATION AND DECLARATION

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SIGNATURE 

SIGNATURE _____ (FINANCE CHAIRMAN)

POSITION Board Attorney DATE 6-29-30

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. # _____ CORPORATION: YES NO

McGill and Hall, L.L.C.
 P.O. Box 150
 708 10th Avenue, Second Floor
 Belmar, NJ 07719

INVOICE

Manasquan, Planning Board of the Borough of
 201 East Main Street
 Manasquan, NJ 08736

Invoice 10418

Date	Jun 29, 2020
Terms	
Service Thru	Jun 29, 2020

In Reference To: Saker, Paul; Winckowski, Joseph (work)

Date	By	Services	Hours	Rates	Amount
03/03/2020	GDM	Preparation: Review application in preparation of the hearing, Review of engineer's report and plans,. Review standards for approval of expansion of nonconforming use, prepare notes for hearing.	1.00	\$ 120.00/hr	\$ 120.00
04/16/2020	GDM	Matter Management: Tcw Keith Henderson regarding the status of the project and discussion of remote scheduling.	0.30	\$ 120.00/hr	\$ 36.00
04/16/2020	GDM	Correspondence: Prepare email with statement of status of this matter to Chair, Secretary and Engineer. Receipt of response from Chair.	0.20	\$ 120.00/hr	\$ 24.00
06/02/2020	GDM	Review: Review of application, tcw Keith Henderson regarding the meeting to ensure that all is in order for virtual meeting.	0.50	\$ 120.00/hr	\$ 60.00
06/29/2020	GDM	Draft: Review of plans and notes, prepare resolution, email to Borough Clerk.	2.00	\$ 120.00/hr	\$ 240.00

Total Hours	4.00 hrs
Total work	\$ 480.00
Total Invoice Amount	\$ 480.00
Previous Balance	\$ 0.00
Balance (Amount Due)	\$ 480.00

**RESOLUTION NO. 15- 2020
(Application No. 12-2020)**

**RESOLUTION OF THE PLANNING BOARD OF THE
BOROUGH OF MANASQUAN, COUNTY OF
MONMOUTH, STATE OF NEW JERSEY.**

WHEREAS, Paul Saker, Joseph Winckowski and Jamie Saker (hereinafter referred to as the "applicants") have applied to the Planning Board of the Borough of Manasquan for a variance relief seeking to expand a nonconforming use by adding to the principal structure on a lot that has two dwelling units where only one dwelling unit is allowed pursuant to N.J.S.A. 40:55D-70d.2 regarding property located at 157 South Street, Manasquan, New Jersey, and known as Block 9, Lot 27 on the Manasquan Tax Map, and,

WHEREAS, a public hearing was held in virtual electronic format at the regularly scheduled meeting of the Planning Board on June 2, 2020, in the Municipal Building, and testimony having been presented on behalf of the applicant and objectors to the application having been given an opportunity to be heard; and,

WHEREAS, such proof of service as may be required by New Jersey Statutes, Municipal Ordinances, and as directed by the New Jersey Department of Community Affairs for meetings held virtually during a time of a declared state of emergency has been furnished; and,

WHEREAS, the Board, having considered the application, testimony, and exhibits submitted, makes the following findings:

1. The property is located in the R-2 Residential Zone.
2. C. Keith Henderson, Esq., appeared on behalf of the applicant. Jamie Saker was in attendance and presented testimony on behalf of the applicants. The applicants also presented the testimony of Joseph Kociuba, P.E., P.P. who was accepted as an expert in engineering and planning. No persons from the public rose in opposition to the proposal.
3. The property consists of a large rectangular lot with 50 feet of frontage on South Street and 198 feet of depth. The lot contains 9,940 square feet where 5,000 feet is required. The property presently consists of a 2/12 story front dwelling, a masonry garage with a one-bedroom dwelling unit above and a wood deck, and an asphalt driveway with access to South Street. The applicant is looking to expand the front house to modernize same and to provide extra space necessary to accommodate modern family living. In support of his application, the applicants provided the architectural plans of Brendan T. McHugh, AIA, dated December 17, 2019, a Plot Plan prepared by James Winckowski, P.E., dated February 4, 2020, and a survey prepared by William J. Fiore, Inc., dated February 18, 2019. These documents more fully describe the applicants' proposal and were submitted to and relied upon by the Board in its deliberations regarding this application
4. Upon review of the application by the Board Engineer, and upon hearing his comments and receiving his report, the Board determined that the applicants'

proposal to remodel and expand the front dwelling required variance relief to expand a nonconforming use pursuant to N.J.S.A. 40:55D-70 (d.2) where the Borough's ordinance states that only one detached single-family residential dwelling per lot is permitted per lot and two such dwellings exist on the subject lot. The expansion of the front house necessarily constitutes an expansion of the nonconforming two dwelling scheme thus triggering the need for the variance relief discussed.

5. The Board finds that the variance relief may be approved and granted as conditioned herein. The Board finds that the applicants are attempting to gain additional space in the front house to modernize the structure to accommodate modern family living. The Board finds that modernizing the housing stock provides aesthetic benefits to the community. The Board finds that the property has existed on the lot for perhaps 100 years and as such is a well-established fixture in the neighborhood. The Board finds that the revitalization of the older structures in the area tends to preserve the character of the neighborhood and finds that such preservation inures to the benefit of the community specifically and the entire Borough as a whole. The Board finds that the improvements are modest in nature and designed so as to provide just a bit of extra space, such as a second bathroom, that promotes the utility and efficiency of the structure. The Board finds that the area of the subject lot is almost twice that required by the zone and as such, from a density perspective, the property does not and will not present as overbuilt or restrictive of the air, light, and open space found in the community. The Board finds that the expansion will not impair the zone plan and in so finding the Board notes the lengthy history of the two-dwelling scheme of the property, notes the modest nature of the expansion and notes that the applicants are confining the construction to the front property and not enlarging the rear structure. In determining whether an applicant may be entitled to a variance to expand a nonconforming use the Board must look to balance the negative aspects of the expansion against the benefits. In this regard the Board finds that the upgrading of the property outweighs the negative aspects of the application. The Board is mindful that the goal of zoning is to bring properties into conformity as quickly as possible and not to prolong or promote their nonconformities. The Board finds here however that the denial of the relief requested will not bring the property into conformity at any time in the near future but will work to deprive the community and the homeowner with the benefits that modernization will provide. The Board finds therefore that the benefits described herein under the circumstances described constitute special reasons to support the grant of the variance relief requested. The Board finds therefore that the applicant has demonstrated that the significant benefits to be obtained by the granting of the relief requested outweigh any detriments and as such sufficient special reasons exist to grant an expansion of this nonconforming use. The Board finding also that the applicant has adequately addressed and satisfied the negative criteria for the reasons stated above, the Board finds that the variance relief may be granted accordingly.

6. The Board finds that it need not address the existing bulk nonconformities that exist at the property and does not consider or grant variances regarding any such

conditions. The Board heard that the applicant will be reducing the impervious surfaces at the property from 67.4% to 34.5% by reducing the extent of impervious coverage and utilizing pervious surfaces for the driveway area. The Board accepts this stipulation as additional reasons to support the application and makes the stipulation a condition of approval.

7. For the reasons stated above, the Board finds that the application as proposed is in keeping with sound planning and zoning and does not present substantial detriment to the public good nor does it substantially impair the intent and purpose of the zoning plan. The Board further finds that the variance relief may be granted because the benefits to be gained by the community and the zone plan substantially outweigh any detriments and that special reasons exist.

WHEREAS, The Board has determined that the relief requested by the applicant can be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Master Plan and Zoning Ordinances of the Borough of Manasquan and that the benefits of this application do substantially outweigh the detriments, and that special reasons exist,

NOW THEREFORE, BE IT RESOLVED, by the Planning Board of the Borough of Manasquan on this this 7th day of June, 2020, that the application for variance relief to expand a nonconforming use pursuant to N.J.S.A. 40:55D-70d.2 shall be and is hereby granted as stated herein subject to the following conditions:

1. All construction shall be made in compliance with the plans presented, all conditions made hereto whether found herein or made upon the record, and all stipulations made by the applicant as memorialized herein, and if not so memorialized, as made upon the record.

2. That all existing taxes, water and sewer assessments and other municipal fees shall be paid current prior to the issuance of a certificate of occupancy.

3. That all construction be completed in accordance with Borough Ordinances, the Building Codes, and all other state, federal and local regulations.

4. That all professional fees including all legal fees and engineering fees, and all inspection fees, or performance bonds set by the Board Engineer, shall be paid by the applicant prior to the issuance of a building permit.

5. That the applicants shall conform their plans to the recommendations of Board Engineer as found in his report of February 25, 2020.

6. That the applicants will reduce the impervious surfaces at the property from 67.4% to 34.5% by reducing the extent of impervious coverage and utilizing pervious surfaces for the driveway area.

BE IT FURTHER RESOLVED that a copy of this resolution be immediately provided by the Planning Board Secretary to the Zoning Officer, to the Construction Official, to the Planning Board's Professional Engineer, to the Tax Office, to the Water

and Sewer Departments and to the Department of Public Works, in order that said officials and departments may appropriately note their records with respect to the development approval herein granted.

Neil Hamilton
Chairman of the Planning Board
of the Borough of Manasquan

CERTIFICATION

I, Mary Salerno, Secretary of the Planning Board of the Borough of Manasquan, in the County of Monmouth, State of New Jersey, do hereby CERTIFY that the foregoing is a true copy of a resolution adopted by the Planning Board at its regular meeting held on June 7th, 2020.

Mary Salerno

Resolution Prepared by:
George D. McGill, Esq.
Attorney to the Planning Board
Of the Borough of Manasquan

RESOLUTION NO. 16- 2020
(Application No. 15-2020)

RESOLUTION OF THE PLANNING BOARD OF THE
BOROUGH OF MANASQUAN, COUNTY OF
MONMOUTH, STATE OF NEW JERSEY.

WHEREAS, 92-94 Marcellus Avenue, LLC (hereinafter referred to as the "applicant") has applied to the Planning Board of the Borough of Manasquan for minor subdivision approval in accordance with the Municipal Land Use Law, N.J.S.A. 40:55D-37 and the Borough's ordinances promulgated pursuant thereto, regarding property located at located at 111 Union Avenue, Manasquan, New Jersey, and known as Block 69, Lots 42 and 43 on the Manasquan Tax Map, and,

WHEREAS, a public hearing was held in virtual electronic format at the regularly scheduled meeting of the Planning Board on June 16, 2020, in the Municipal Building, and testimony having been presented on behalf of the applicant and objectors to the application having been given an opportunity to be heard; and,

WHEREAS, such proof of service as may be required by New Jersey Statutes, Municipal Ordinances, and as directed by the New Jersey Department of Community Affairs for meetings held virtually during a time of a declared state of emergency has been furnished; and,

WHEREAS, the Board, having considered the application, testimony, and exhibits submitted, makes the following findings:

1. The property is located in the O-Office Commercial Zone.
2. The applicant was represented by Kevin Starkey, Esq. and testimony was largely presented through the applicant's engineer and planner, Ray Carpenter, P.E.
3. The property presently consists of two lots that have frontages on Union Avenue in the Borough of Manasquan. As presently configured, the parcel is comprised of Lot 42 and Lot 43 in Block 69 as described on the Tax Maps of the Borough of Manasquan. Lot 43 is a corner lot and has 143.70 feet of frontage on Marcellus Avenue. Lot 42 lies generally to the north of Lot 43 and has frontage on Union Avenue. The combined frontage of the Lots 43 and 42 along Union Avenue is 108.42 feet. The property presently contains a structure that is located partially on Lot 43 and partially on Lot 42. The parcel consisting of Lots 43 and 42 totals 14,970 square feet in total area. The applicant is proposing to reconfigure the lots so that the parcel is comprised of two conforming lots both with frontages on Marcellus Avenue.
4. The applicant is proposing to subdivide the property into two lots to be known as Proposed Lot 42.01, Proposed Lot 42.02. The property is located, generally, in the northwesterly quadrant of the intersection of Union Avenue and Marcellus Avenue. Proposed Lot 42.01 is shown to be an interior lot with 67 feet of frontage on Marcellus Avenue. Proposed Lot 42.02 is proposed to be located generally to the east of Proposed Lot 42.01. Proposed Lot 42.02 is proposed to be located on the corner of Union Avenue and Marcellus Avenue. Proposed Lot 42.02 is shown to have 108.42 feet of frontage on Union Avenue and 76.70 feet of frontage on Marcellus Avenue.

Proposed Lot 42.01 is proposed to have 7,236 square feet in total area. Proposed Lot 42.02 is proposed to have 7,741.97 square feet in total area. The applicant is proposing to raze and remove all existing structures on the existing lots and has stipulated to do so as a condition of perfecting the subdivision.

5. The applicant has provided plans entitled "Subdivision Plan" prepared by Ray Carpenter, P.E., dated February 10, 2020. The plans presented more specifically detail the applicant's proposal and were relied upon by the Board and Board's Engineer. The applicant also presented amended drainage and grading plans that were reviewed by the Board Engineer and concerning which an oral report from the Board Engineer was received by the Board.

6. The applicant has not requested any variances in this application and none were granted by the Planning Board.

7. The applicant provided grading and drainage plans at the request of the Board that were reviewed by the Board engineer. The Board's engineer found the plans to be generally acceptable subject to necessary amendments being made thereto to accommodate the construction of any new structures. The Board heard the testimony of Dennis O'Keefe who owns the property known as Block 69, Lot 39. This property is situated generally to the west of the subject parcel. The Board heard the testimony from Mr. O'Keefe that the O'Keefe property presently drains onto a portion of the subject parcel by the natural contours of the land. The Board heard that Mr. O'Keefe was concerned that the drainage and grading plans presented would cause the present drainage scheme of his property to be interrupted thus causing water to accumulate on his property. The Board discussed the matter with the applicant and the applicant stipulated that the grading and drainage scheme employed for the property would be such as to cause no detriment to the O'Keefe property. The Board accepted the stipulation and makes same a condition of the approval granted herein.

8. The Board finds that the subdivision approval may be granted subject to the conditions found herein. The Board finds that the subdivision, as proposed, appears to be in conformity with the bulk requirements of the Borough's Zoning Ordinances. The Board finds therefore that it may grant the subdivision subject to the conditions of approval herein stated. The Board specifically finds that the approval granted herein, and any perfection of the subdivision, shall be conditioned upon compliance with all conditions found in the Review Letter of Board Engineer Albert D. Yodakis, P.E., P.P., dated May 18, 2020. including the requirement that all structures be removed from the property prior to perfecting the subdivision. The Board specifically conditions the grant of approval herein upon the stipulation found above that the grading and drainage scheme employed for the property would be such as to cause no detriment to the O'Keefe property which lies generally to the west of the subject parcel.

WHEREAS, The Board has determined that the subdivision requested by the applicant conforms to the Borough Ordinances controlling lots in the O- Office Zone,

NOW THEREFORE, BE IT RESOLVED, by the Planning Board of the Borough of Manasquan on this 7th day of June, 2020, that the application for subdivision approval shall be and is hereby granted as stated herein subject to the following conditions:

1. The subdivision shall be made and perfected in compliance with the plans presented.
2. The applicant shall comply with all conditions of approval whether specifically found herein or made upon the record; and shall comply with all stipulations as referenced herein and if not so referenced, as made upon the record.
3. That all existing taxes, water and sewer assessments and other municipal fees shall be paid current prior to the issuance of a certificate of occupancy.
4. That all professional fees including all legal fees and engineering fees, and all inspection fees, or performance bonds set by the Board Engineer, shall be paid by the applicant prior to the issuance of a building permit.
5. That the applicants shall conform their plans to the recommendations of Board Engineer as found in his review letter of May 18, 2020.
6. That the grading and drainage scheme employed in reference to these properties would be such as to cause no detriment to the property which lies generally to the west of the subject parcel.

BE IT FURTHER RESOLVED that a copy of this resolution be immediately provided by the Planning Board Secretary to the Zoning Officer, to the Construction Official, to the Planning Board's Professional Engineer, to the Tax Office, to the Water and Sewer Departments and to the Department of Public Works, in order that said officials and departments may appropriately note their records with respect to the development approval herein granted.

Neil Hamilton
Chairman of the Planning Board
of the Borough of Manasquan

CERTIFICATION

I, Mary Salerno, Secretary of the Planning Board of the Borough of Manasquan, in the County of Monmouth, State of New Jersey, do hereby CERTIFY that the foregoing is a true copy of a resolution adopted by the Planning Board at its regular meeting held on June 7th, 2020.

Mary Salerno

Resolution Prepared by:
George D. McGill, Esq.
Attorney to the Planning Board
Of the Borough of Manasquan

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

ALBERT "SANDY" RATZ
Construction Official

APPLICATION TO THE PLANNING BOARD

Applicant's Name MICHAEL SUPPA
Applicant's Address 45 1ST AVE. MANASQUAN NJ 08736
Telephone Number 201 988-2577
(Home and Cell)
Property Location 45 1ST AVE MANASQUAN NJ 08736
Block: 166 Lot 20

Type of Application BULK VARIANCE
Bulk Variance, Non-Permitted Use - Conditional Use - Subdivision - Minor
Subdivision - Major - Site Plan Approval

Date of Zoning Officer's Denial Letter 3-3-20
Zoning Permit Application Attached

Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

Is the Applicant the Landowner? YES

Does the Applicant own any adjoining land? NO

Are the property Taxes paid to date? YES

Have there been any previous applications to the Planning Board concerning this property? NO
(Attach copies)

Have there been any previous applications to the Planning Board. If there were please attach copies.

Are there any Deed Restrictions, easements, or covenants affecting this property and if so please attach NONE

The applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Signature of Applicant or Agent Michael A Suppa
Date 3/6/20

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

March 3, 2020

Michael Suppa
45 First Avenue
Manasquan, NJ 08736

Re: Block: 166 Lot: 20 Zone: R-2 Flood Zone: AE BFE: 9ft. DFE: 10ft.

Dear Sir:

On this date we reviewed your application for the following project.

Construct an addition between the existing single family dwelling and the detached garage and construct second and third floor additions over the existing garage footprint and other interior alterations and renovations.

Survey prepared by Charles Surmonte on September 4, 2019 and conceptual plans prepared by Michael and Michelle on February 26, 2020.

Application denied for the following reason(s):

- Section 35-9.4 - Front Setback – 25ft. Required
11.4ft. Existing
- “ - Rear Setback – 20ft. Required
31ft. Existing
5ft. Proposed
- “ - Side Setback (Left) – 5ft. Required
4.5ft. Existing
- “ - Side Setback (Right) – 15ft. Required
20.2ft. Existing
14.8ft. Proposed

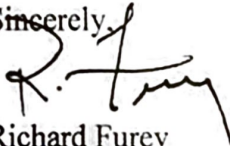
“ - Building Coverage – 30% Permitted
35.7% Existing
36.6% Proposed

Section 35-7.7 - Curb Cut – 20ft. Permitted
27ft. Existing

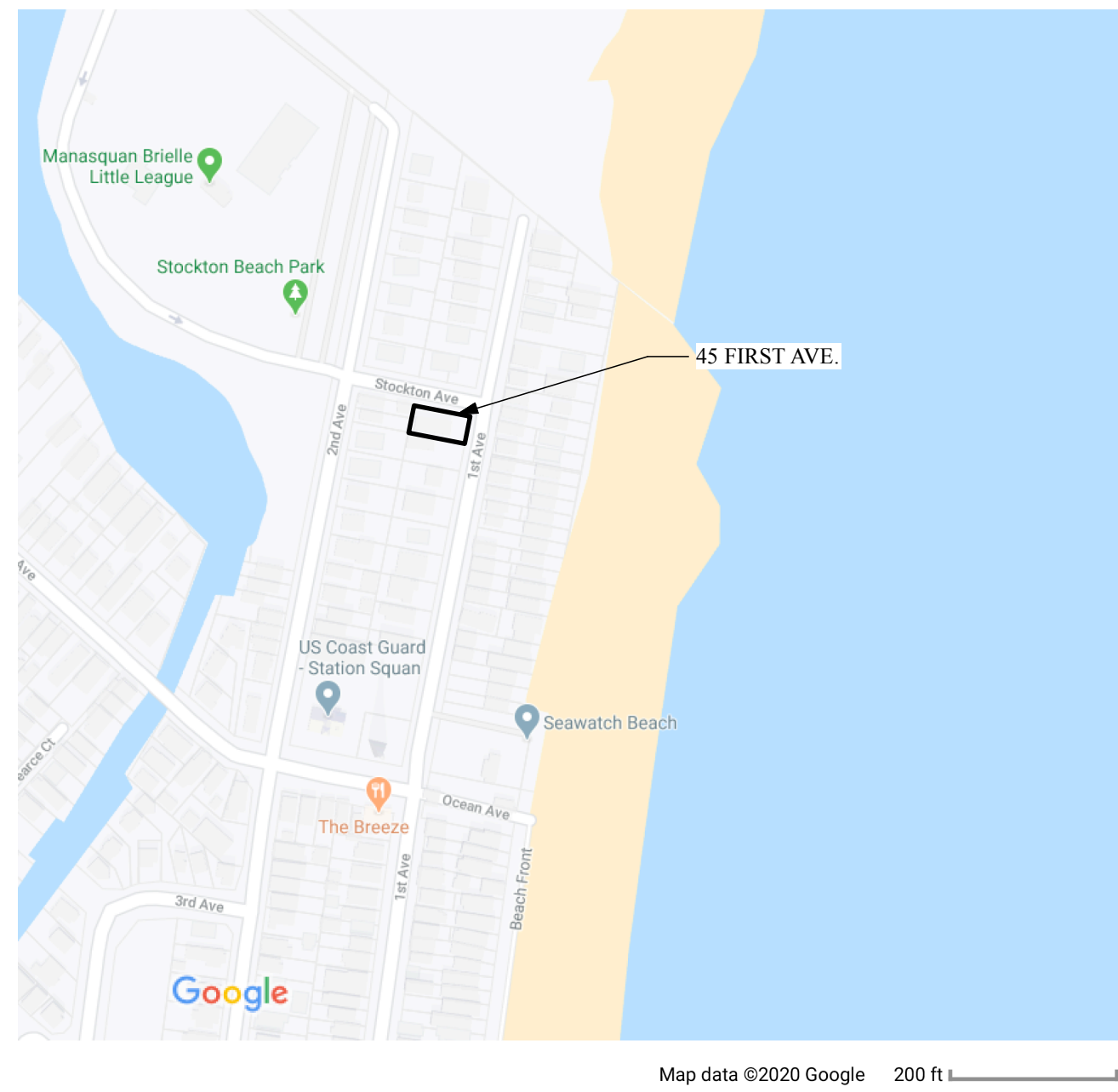
Section 35-11.8 – Requires that a patio must be setback a minimum of 5ft. from the side and rear property lines.

If you have any questions, please call me at 732-223-0544, ext. 256

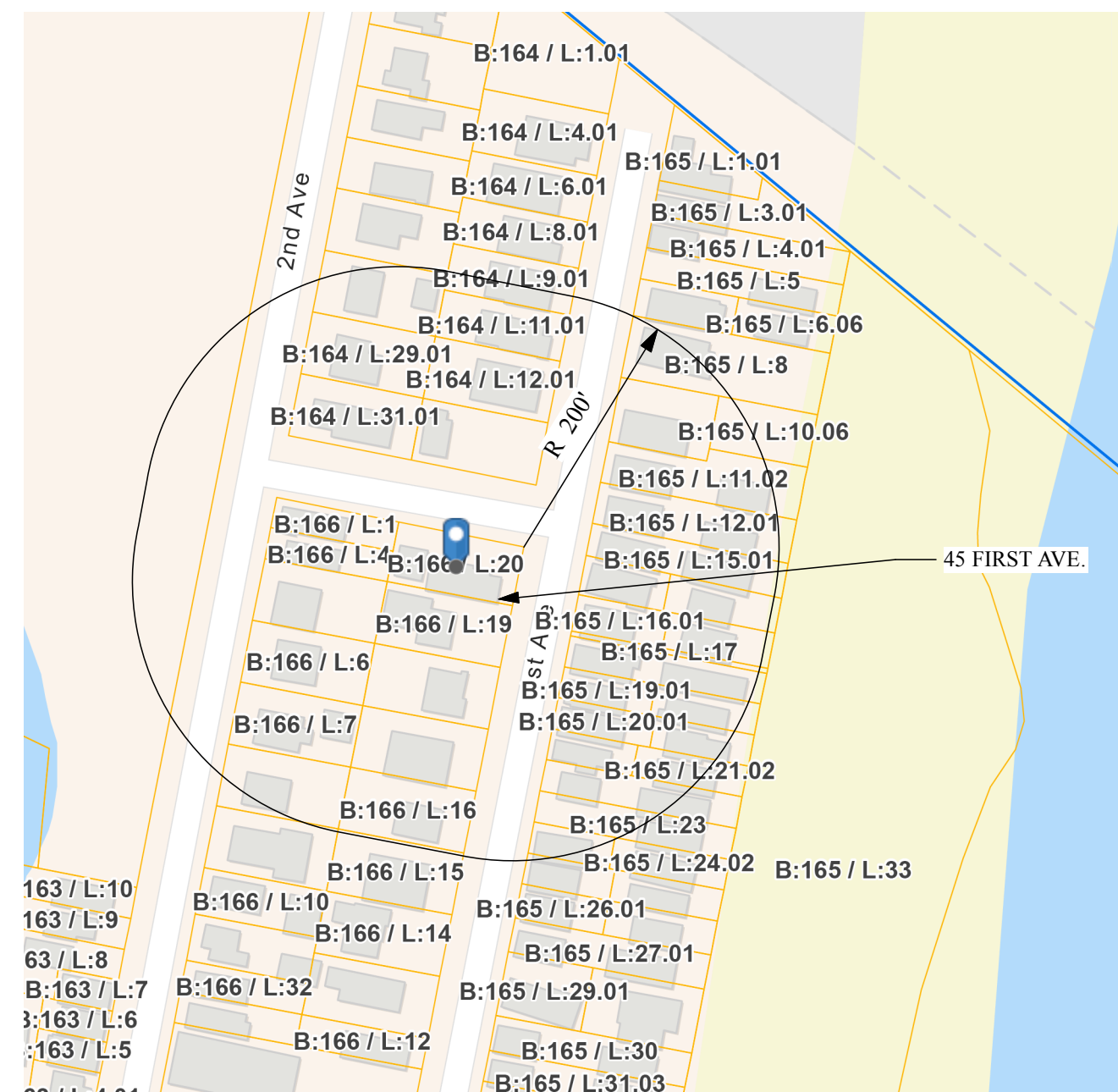
Sincerely,

A handwritten signature in black ink, appearing to read "R. Furey", written over the word "Sincerely,".

Richard Furey
Zoning/Code Enforcement Officer



PROPERTY LOCATION KEY MAP



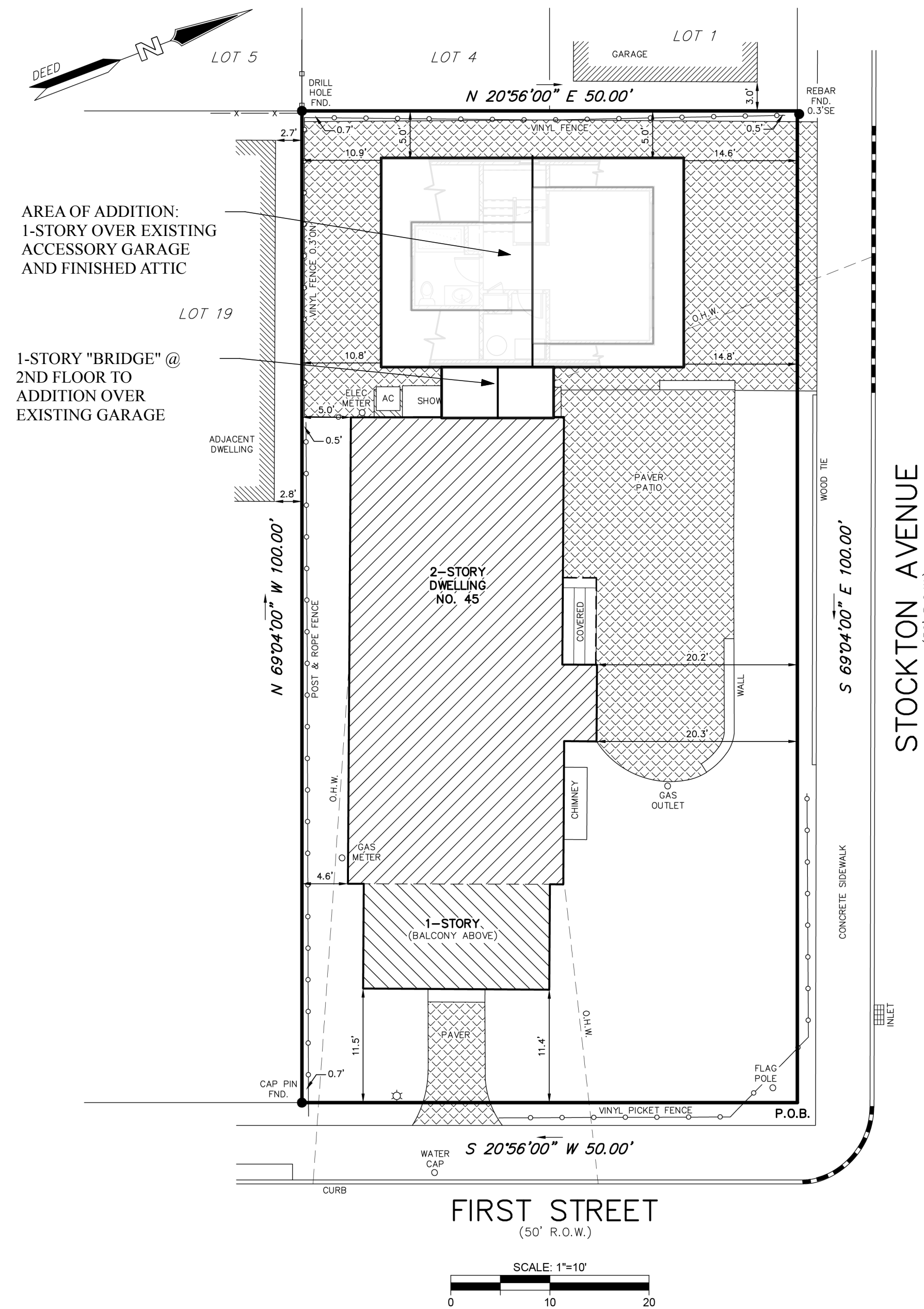
200' PROXIMITY MAP

BLOCK 166 LOT 20	REQUIRED	EXISTING	PROPOSED
ZONE: R-2			
MINIMUM LOT REQUIREMENTS			
AREA (SF)	5,000	5,000	NC
FRONTAGE	50.0	50.0	NC
MINIMUM YARD REQUIREMENTS			
FRONT	25.0	11.4	NC
REAR	20.0	31.0	5.0
ONE SIDE	5.0	4.5	NC
	15.0	20.2	14.8
MAXIMUM ALLOTMENTS			
LOT COVERAGE %	45.0		
BUILDING COVERAGE %	30.0	35.7	37.1
PRINCIPAL BUILDING HEIGHT	35.0	26.0	30.0
STORIES	2.5	2.5	NC

ZONING SCHEDULE

SUPPA RESIDENCE RENOVATIONS & ADDITION

45 FIRST AVE.
MANASQUAN, NEW JERSEY 08736
BLOCK: 20 LOT: 166



PLOT PLAN

PLOT PLAN BASED UPON CERTIFIED SURVEY BY CHARLES SURMONTE, PROFESSIONAL ENGINEER & LAND SURVEYOR, LIC. NO.35885, DATED 09.04.19

PROJECT NARRATIVE:

A PROPOSED ADDITION OVER AN EXISTING ACCESSORY GARAGE, CHANGES THE GARAGE INTO AN ATTACHED GARAGE, PART OF THE PRINCIPAL STRUCTURE. THIS REQUIRES (2) BULK VARIANCES, FOR SIDE AND REAR SETBACK.

THE SECOND FLOOR ADDITION IS 620 SF. THE FINISHED ATTIC OVER THE ADDITION IS 358 SF. THE HEIGHT OF THE ADDITION COMPLIES WITH THE REGULATION.

SIGNATURES	
ZONING/PLANNING OFFICER	DATE
BOROUGH ENGINEER	DATE
CHAIRMAN	DATE
SECRETARY	DATE



some architects
ARCHITECTURE : PLANNING : INTERIOR DESIGN

S.O.M.E. Architects, PC
65 Monmouth Street, 2nd Floor
Red Bank, New Jersey 07701
tel. 732.842.3132
fax 732.842.0047

www.SOMEarchitects.com

[Signature]
Edward W. O'Neill, Jr., R.A.
NJ # AI 10704

Client:
MICHAEL & MICHELLE SUPPA
45 FIRST AVE.
MANASQUAN, NJ 08736

Project:
RENOVATIONS & ADDITION
45 FIRST AVE.
MANASQUAN, NJ 08736

Block:	166
Lot:	20

These drawings and specifications are issued as Instruments of Service. The specific designs are the property of S.O.M.E. Architects, P.C. and are issued for this project only. All other use of these designs, drawings and specifications shall be limited to express written approval of S.O.M.E. Architects, P.C. which shall be obtained prior to their use. All other use is strictly prohibited. Liability for use is limited to this specific project at this specific location.

Revisions:		
No.	Date	Description

A	03.12.20	DPA
No.	Date	Issued For:
Issued:		

Drawing Index:
COVER SHEET
ZONING SCHEDULE
PLOT PLAN

Project Number:	2002
File Name:	2002 A001.VWX
Scale:	AS NOTED
Drawn By:	JR
Checked By:	EON
Sheet	

A-001



somearchitects
ARCHITECTURE : PLANNING : INTERIOR DESIGN

S.O.M.E. Architects, PC
65 Monmouth Street, 2nd Floor
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tel. 732.842.3132
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www.SOMEarchitects.com

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NJ # AI 10704

Client:
MICHAEL & MICHELLE SUPPA
45 FIRST AVE.
MANASQUAN, NJ 08736

Project:
RENOVATIONS & ADDITION
45 FIRST AVE.
MANASQUAN, NJ 08736

Block:	166
Lot:	20

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Revisions:		
No.	Date	Description

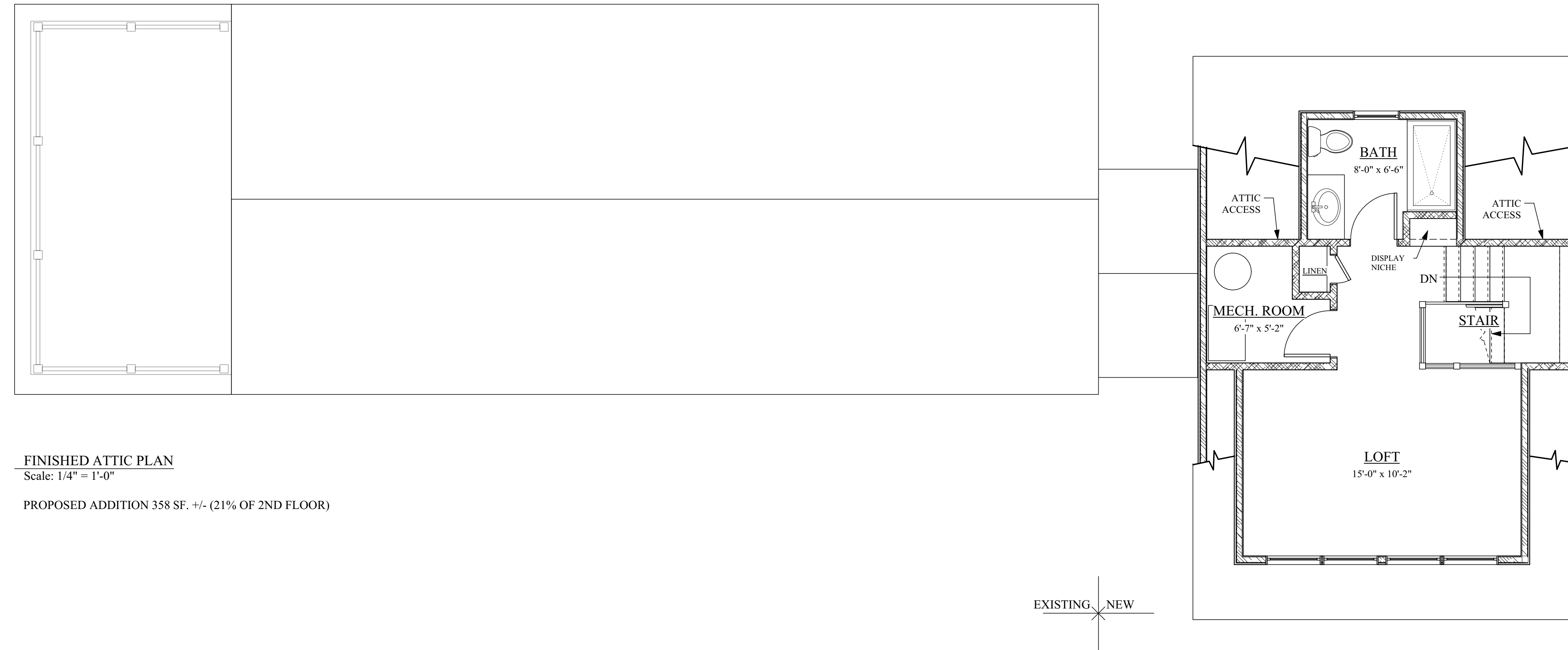
A	3.13.20	DPA
No.	Date	Issued For:
Issued:		

Drawing Index:
PROPOSED FLOOR PLAN

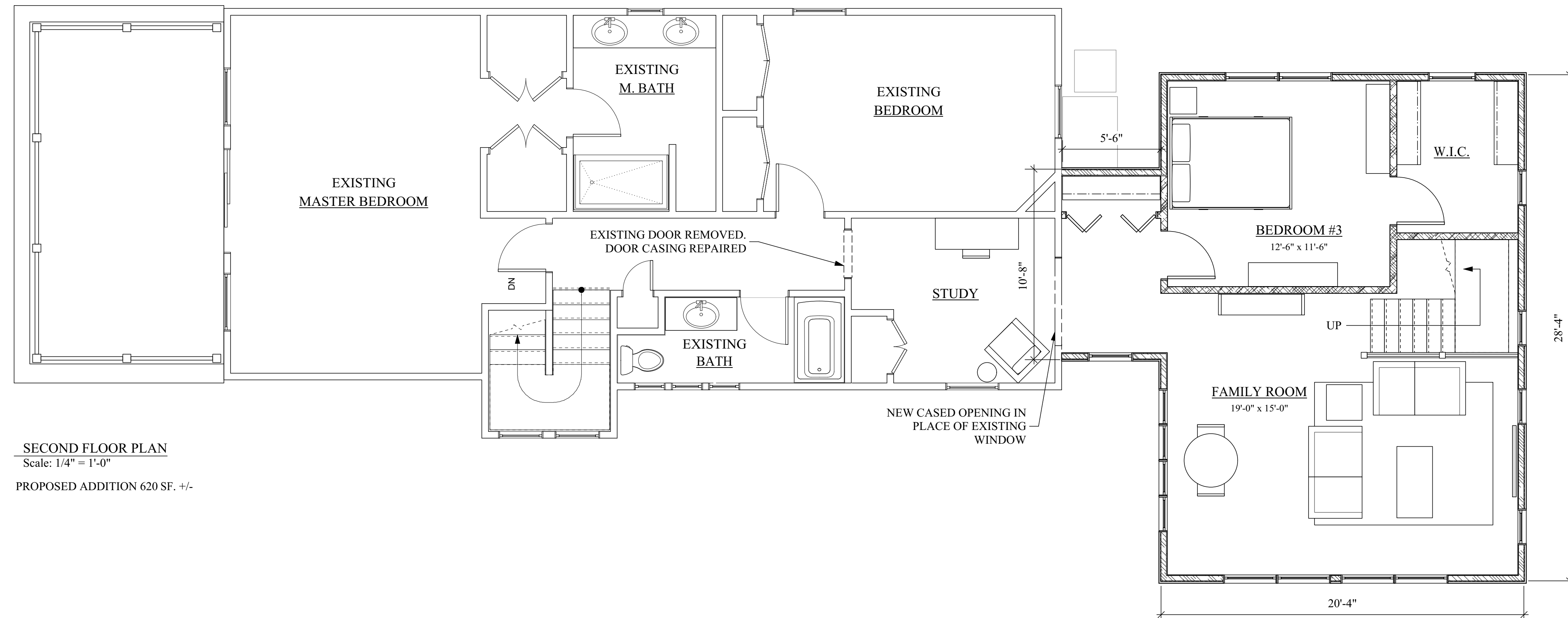
Project Number:	2002
File Name:	2002 A200.vwx
Scale:	AS NOTED
Drawn By:	JR
Checked By:	EON

Sheet

A-100



FINISHED ATTIC PLAN
Scale: 1/4" = 1'-0"
PROPOSED ADDITION 358 SF. +/- (21% OF 2ND FLOOR)



SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"
PROPOSED ADDITION 620 SF. +/-



somearchitects
 ARCHITECTURE : PLANNING : INTERIOR DESIGN

S.O.M.E. Architects, PC
 65 Monmouth Street, 2nd Floor
 Red Bank, New Jersey 07701
 tel. 732.842.3132
 fax 732.842.0047

www.SOMEarchitects.com

Edward W. O'Neill, Jr., R.A.
 NJ # AI 10704

Client:
MICHAEL & MICHELLE SUPPA
 45 FIRST AVE.
 MANASQUAN, NJ 08736

Project:
RENOVATIONS & ADDITION
 45 FIRST AVE.
 MANASQUAN, NJ 08736

Block:	166
Lot:	20

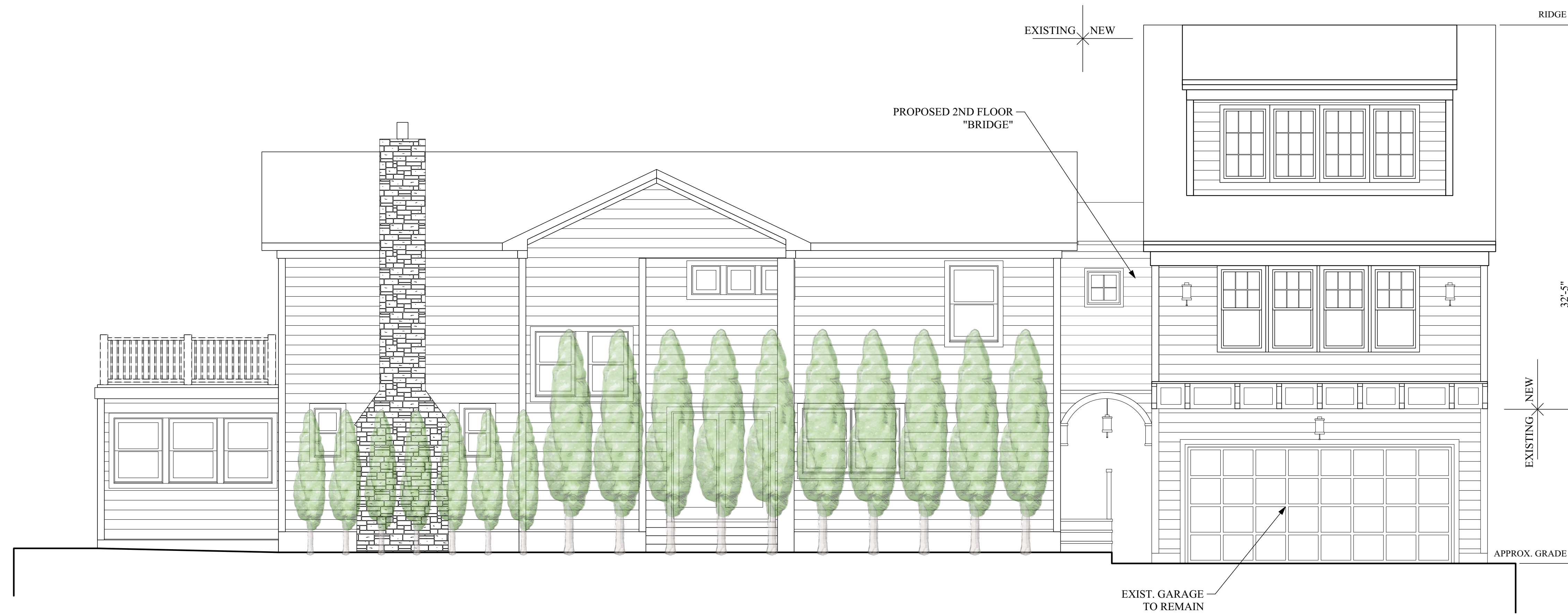
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Revisions:		
No.	Date	Description

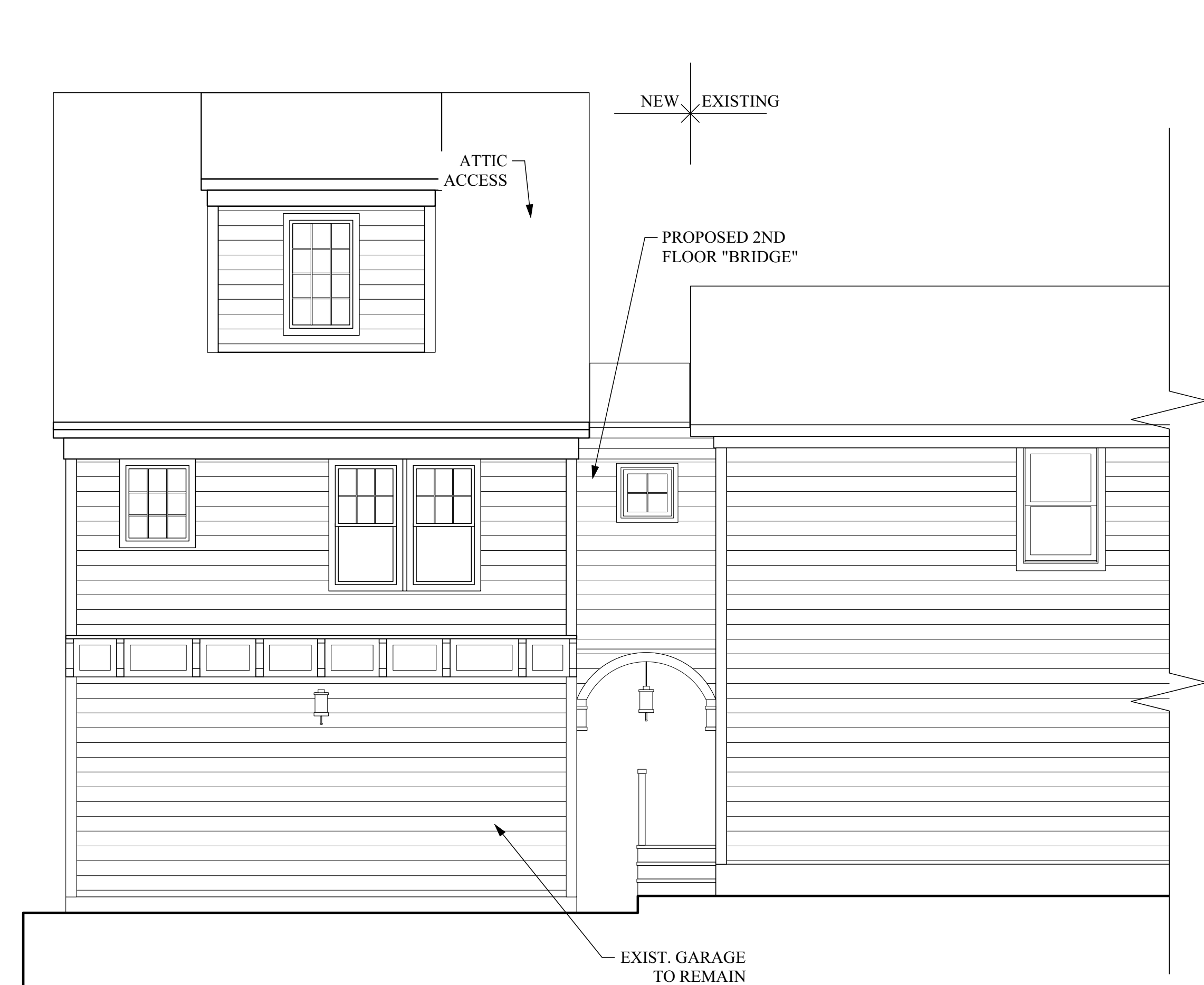
A	3.13.20	DPA
No.	Date	Issued For:
Issued:		

Drawing Index:	
PROPOSED ELEVATIONS	
Project Number:	2002
File Name:	2002 A200.vwx
Scale:	AS NOTED
Drawn By:	JR
Checked By:	EON

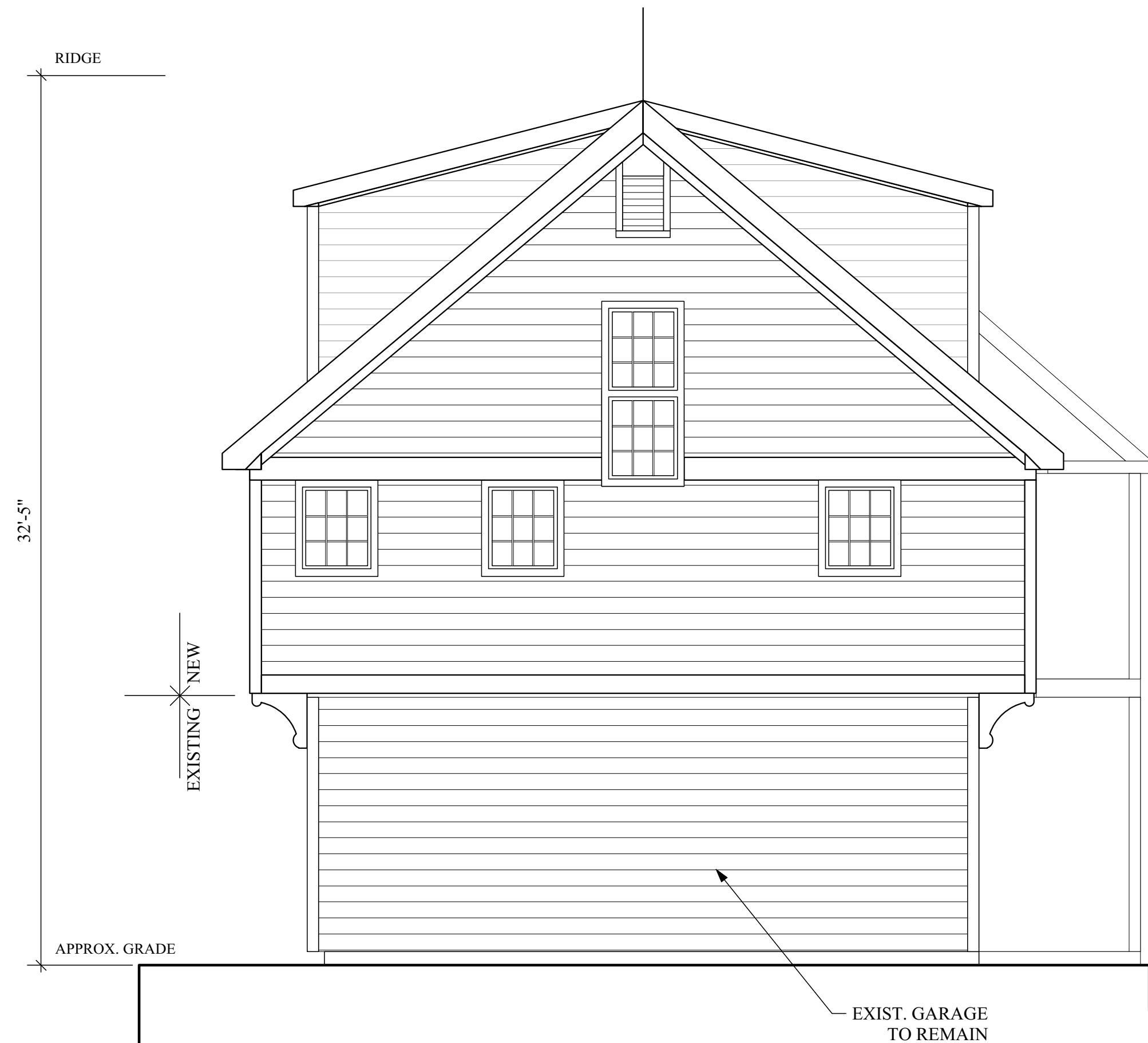
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A-200



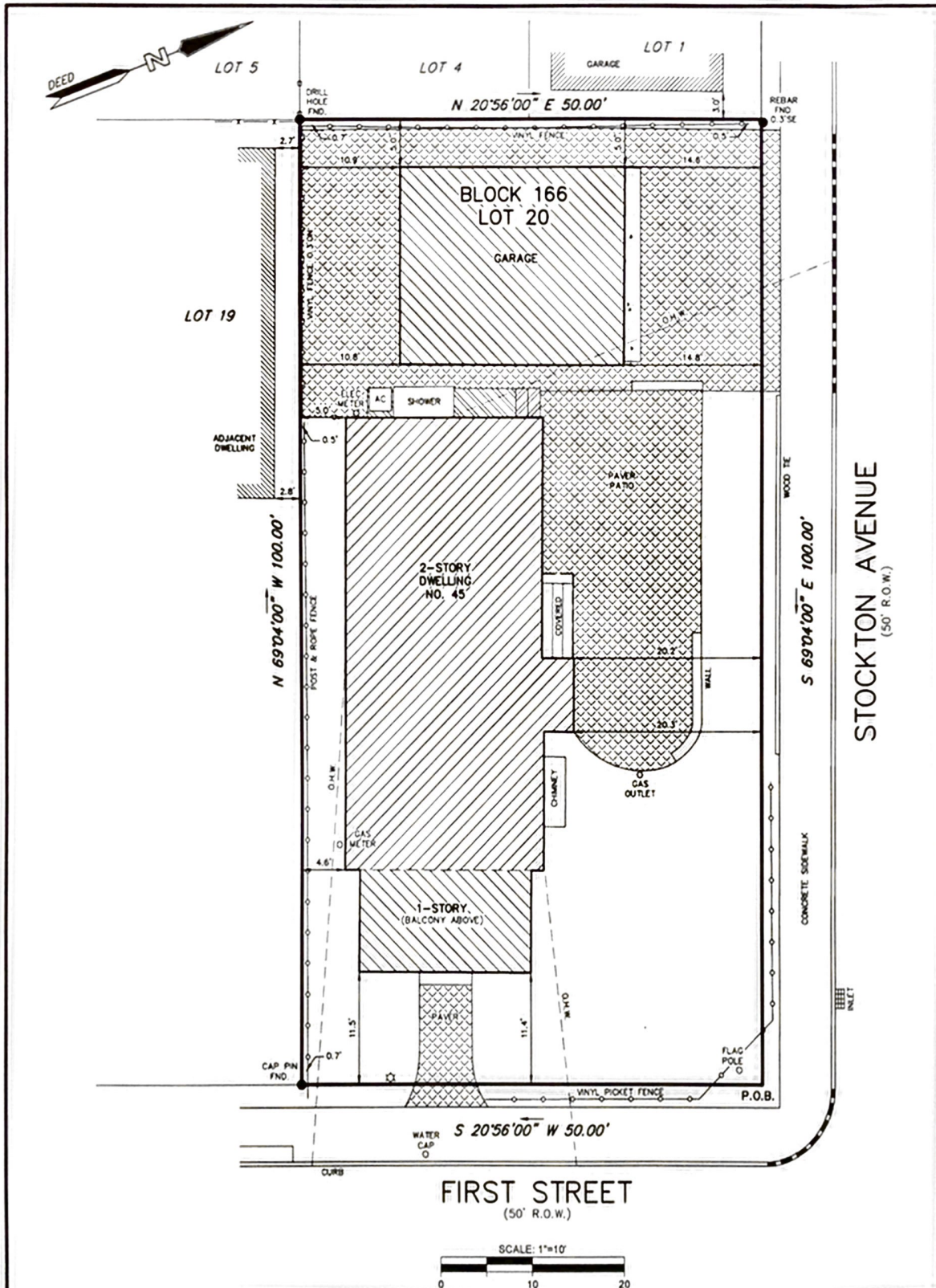
STOCKTON AVE. ELEVATION (NORTH)
 Scale: 1/4" = 1'-0"



SIDE ELEVATION (SOUTH)
 Scale: 1/4" = 1'-0"

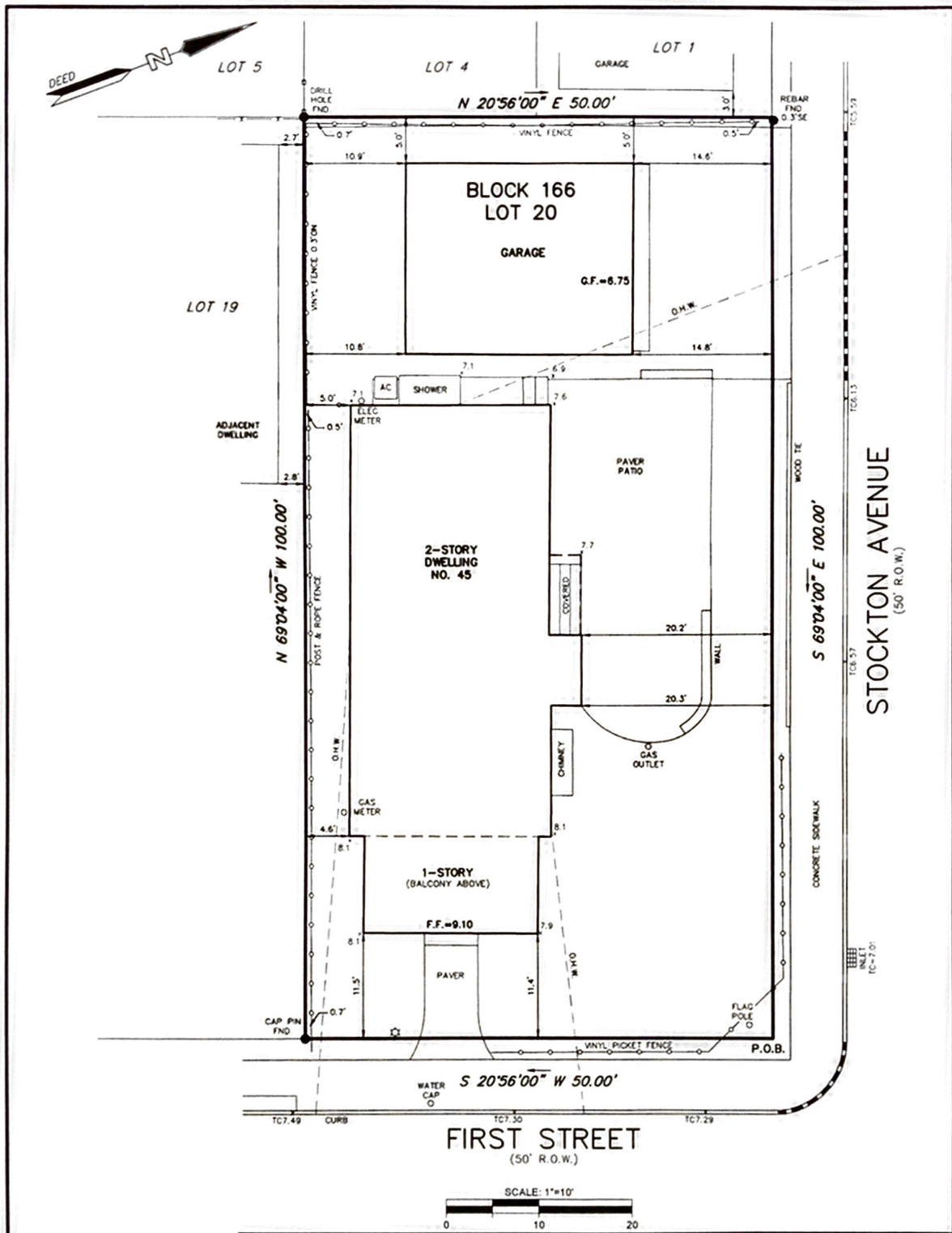


REAR ELEVATION (WEST)
 Scale: 1/4" = 1'-0"



SURVEY OF PROPERTY			
45 FIRST AVENUE LOT 20 BLOCK 166			
BOROUGH OF MANASQUAN		MONMOUTH COUNTY	
NEW JERSEY			
Charles Surmonte P.E. & P.L.S. New Jersey Professional Engineer and Land Surveyor License No. 35885			301 Main Street, 2nd Floor Allenhurst, New Jersey, 07711 Phone 732-660-0606 Fax 732-660-0404
PROJECT No.	DATE:	SCALE:	SHEET:
19-026	09-04-19	1"=10'	1 OF 1

NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THE PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS, ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY.
 THIS SURVEY IS SUBJECT TO CONDITIONS WHICH MIGHT BE DISCLOSED BY AN ACCURATE TITLE SEARCH.
 OFFSETS AS SHOWN HEREON ARE NOT TO BE USED TO ESTABLISH PROPERTY LINES.



SPOT GRADE PLAN

45 FIRST AVENUE
LOT 20 BLOCK 166

BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY

Charles Surmonte P.E. & P.L.S.
New Jersey Professional Engineer and Land Surveyor
License No. 35885

301 Main Street, 2nd Floor
Allenhurst, New Jersey, 07711
Phone 732-660-0606
Fax 732-660-0404

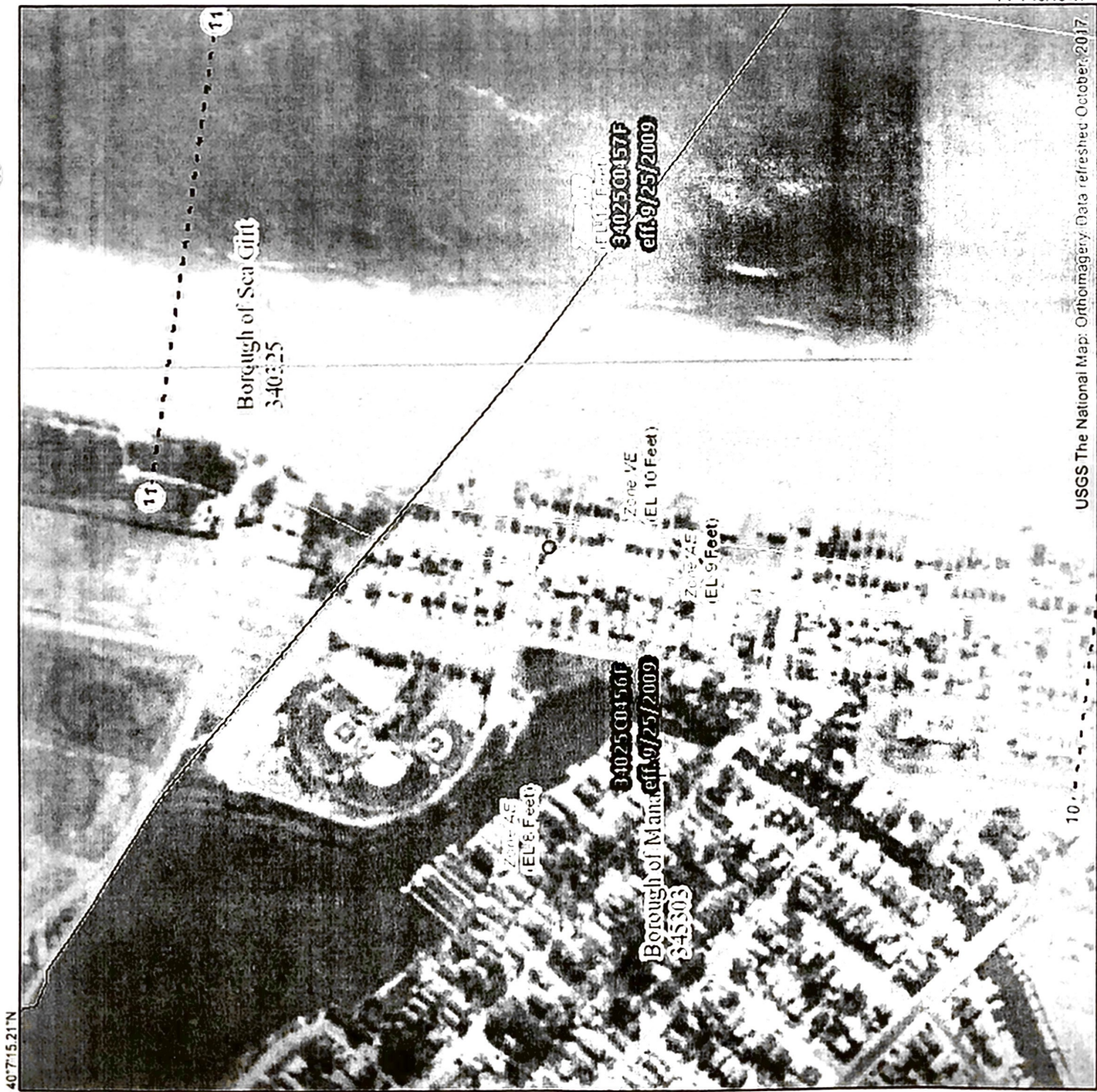
NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THE PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS, ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY.
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OFFSETS AS SHOWN HEREON ARE NOT TO BE USED TO ESTABLISH PROPERTY LINES.

PROJECT No.	19-026	DATE:	09-04-19	SCALE:	1"=10'	SHEET:	1 OF 1
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National Flood Hazard Layer FIRMette



40°7'15.21"N



USGS The National Map: Orthoimagery Data Refreshed October, 2017



74°140.10"W

40°6'47.70"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANE

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (Zone A, V, AP3) With BFE or Depth Zone AE, AO, A Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD	0.2% Annual Chance Flood Hazard of 1% annual chance flood with depth less than one foot or with areas of less than one square foot Future Conditions 1% Annual Chance Flood Hazard Zone X Area with Reduced Flood Risk Levels. See Notes. Zone X Area with Flood Risk due to Le
OTHER AREAS	No Screen Area of Minimal Flood Hazard Effective LOMIRs
GENERAL STRUCTURES	Area of Undetermined Flood Hazard Channel, Culvert, or Storm Sewer, Levee, Dike, or Floodwall
OTHER FEATURES	Cross Sections with 1% Annual Water Surface Elevation Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transect Baseline Profile Baseline Hydrographic Feature
MAP PANELS	Digital Data Available No Digital Data Available Unmapped

The pin displayed on the map is an app point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps. It is not valid as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This was exported on 1/12/2019 at 2:40:05 PM and does not reflect changes or amendments subsequent to this date. The NFHL and effective information may change and become superseded by new data over time.

This map image is void if the one or more of the following elements do not appear: basemap imagery, flood zone legend, scale bar, map creation date, community identification number, and FIRM effective date. Map images of unmapped and unmodernized areas cannot be used for regulatory purposes.

May 28, 2020

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1240
Variance – Suppa
Block 166, Lot 20
45 First Avenue
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Survey of Property, prepared by Charles Surmonte, PLS, dated September 4, 2019.
2. Architectural Floor Plans, Elevations and Plot Plan, prepared by Edward O'Neill, Jr., RA, of S.O.M.E. Architects, dated March 12, 2020.

The property is located in the R-2 Single-Family Residential Zone with frontage on First Avenue and Stockton Avenue. With this application, the applicant proposes to construct a second story addition over the existing detached garage and a second story "bridge" addition to connect the proposed addition to the existing dwelling's second story. This application is deemed complete as of May 28, 2020.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone. The existing and proposed residential use is permitted in the zone.
2. The following bulk ('c') variance is required as part of this application:
 - a. A minimum rear yard setback of 20 feet is required, whereas a setback of 5 feet is proposed (31 feet exists) as the structure will now be one primary dwelling rather than a primary dwelling and an accessory garage.
 - b. A minimum side yard setback of 15 feet is required (corner lot - north), whereas a setback of 14.8 feet is proposed (20.2 feet exists) as the structure will now be one primary dwelling rather than a primary dwelling and an accessory garage.
 - c. A maximum building coverage of 30% is permitted, whereas a coverage of 37.1% is proposed (35.7% exists)

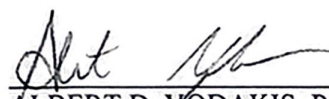
Re: Boro File No. MSPB-R1240
Variance – Suppa
Block 166, Lot 20

May 28, 2020
Sheet 2

3. The following non-conformities exist on Lot 20 and are not proposed to be modified as part of this application:
 - a. A minimum front yard setback of 25 feet is required, whereas a setback of 11.4 feet exists.
 - b. A minimum side yard setback of 5 feet (south) is required, whereas a setback of 4.6 feet exists.
 - c. A maximum curb cut and driveway width of 20 feet wide is permitted, whereas a curb cut and driveway of approximately 27 feet exists.
 - d. A minimum patio setback of 5 feet is required, whereas a setback of approximately 0 feet exists.
4. Although the dwelling height appears to be conforming, the building height measured from the top of curb should be provided.
5. The current base flood elevation for the property is 9 feet.
6. The applicant should indicate if there are any proposed grading changes to the property.
7. It appears that the minimum two conforming parking spaces are provided in the proposed garage as well as additional space in the driveway.
8. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed addition does not increase the existing building footprint by more than 500 square feet.
9. The required 80 square feet of enclosed storage space appears to exist in the garage area.
10. No trees will be removed as part of this application.
11. Any new utilities should be located underground if possible.
12. Any curb and sidewalk must be replaced along First Avenue and Stockton Avenue as necessary.
13. All necessary building permits must be obtained prior to construction.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN



Re: Boro File No. MSPB-R1240
Variance – Suppa
Block 166, Lot 20

May 28, 2020
Sheet 3

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Edward O'Neill, Jr., RA
S.O.M.E. Architects, 65 Monmouth Street, 2nd Floor, Red Bank, NJ 07701
Michael Suppa
45 First Avenue, Manasquan, NJ 08736

****IF THE ITEM BELOW IS CHECKED, YOU MUST SEND NOTIFICATION, IN ADDITION TO THE PROPERTY OWNERS ON THE ATTACHED LIST****

UTILITIES TO BE NOTIFIED

<input checked="" type="checkbox"/> Jersey Central Power & Light Co	Customer Service PO Box 16001 Reading, PA 19612-6001
<input checked="" type="checkbox"/> Verizon	PO Box 4833 Trenton, NJ 08650-4833
<input checked="" type="checkbox"/> NJ Natural Gas Company	1415 Wyckoff Rd PO Box 1378 Wall, NJ 07715-0001
<input checked="" type="checkbox"/> Cablevision	1111 Stewart Ave Bethpage, NY 11714-3533
<input checked="" type="checkbox"/> NJ American Water Company	Attn: Corporate Secretary 131 Woodcrest Rd PO Box 5079 Cherry Hill, NJ 08034-5079
<input checked="" type="checkbox"/> Monmouth County Planning Board	Hall of Records Annex Second Floor 1 E Main St Freehold, NJ 07728-2273
<input checked="" type="checkbox"/> Monmouth County Highway Dep't	250 Center St Freehold, NJ 07728-2465
<input type="checkbox"/> Township of Wall	Attn: Municipal Clerk PO Box 1168 Wall, NJ 07719-1168
<input type="checkbox"/> Borough of Sea Girt	Attn: Municipal Clerk PO Box 296 Sea Girt, NJ 08750-0296
<input type="checkbox"/> Borough of Brielle	Attn: Municipal Clerk 601 Union Ln PO Box 445 Brielle, NJ 08730-0445
<input type="checkbox"/> Borough of Point Pleasant Beach	Attn: Municipal Clerk 416 New Jersey Ave Pt Pleasant, NJ 08742
<input checked="" type="checkbox"/> State of New Jersey	Attn: Commissioner of Transportation Department of Transportation 1035 Parkway Ave Trenton, NJ 08625-2309

BOROUGH OF MANASQUAN

CERTIFIED LIST OF PROPERTY OWNERS - 45 FIRST AVE (BLOCK 166 / LOT 20)

REQUESTED 3/6/20

BLOCK	LOT	OWNER	Property Address	Mailing Street	Mailing City,State,Zip Code
163	1	BOROUGH OF MANASQUAN	69 SECOND AVE	201 E MAIN ST	MANASQUAN, NJ 087363004
164	9.01	DADSON, EDWARD J & ELEANOR	25 FIRST AVE	25 FIRST AVE	MANASQUAN, NJ 087363310
164	11.01	TANIS, JOHN F, TRUSTEE	29 FIRST AVE	346 WINIFRED DRIVE	TOTOWA, NJ 07512
164	12.01	FISHER, ROBERT D & CECILIA A	33 FIRST AVE	336 SENECA AVE	MIDDLESEX, NJ 088462349
164	14.05	DELorenzo, BARBARA J&THOMAS,TRUSTEE	37 FIRST AVE	37 FIRST AVE	MANASQUAN, NJ 08736
164	27.01	SHAFFER, BERNARD	30 SECOND AVE	30 SECOND AVE	MANASQUAN, NJ 087363340
164	29.01	HELWIG, DONALD J	34 SECOND AVE	1552 BROAD ST	BLOOMFIELD, NJ 070033105
164	31.01	BURKE, JOHN J & JESSICA L	4 STOCKTON AVE	4 STOCKTON AVE	MANASQUAN, NJ 08736
165	8	ALBERTSON-PRIOR FAMILY COMPANY LLC	30 FIRST AVE	11302 GERALD LN	OAKTON, VA 22124
165	10.05	SEIGEL FAMILY, LLC	36 FIRST AVE	2620 LANTERN LIGHT WAY	WALL, NJ 087362245
165	10.06	MINTZ, ALAN J	37 BEACHFRONT	53 FARMSTEAD RD	SHORT HILLS, NJ 070781291
165	11.02	MCLOUGHLIN, DANIEL & ROGEVICH, MARY	38 FIRST AVE-39 BEACHFRONT	38 FIRST AVE	MANASQUAN, NJ 08736
165	12.01	LEWIS, PAMELA W	40 FIRST AVE-41 BEACHFRONT	40 FIRST AVE	MANASQUAN, NJ 08736
165	15.01	PLJT ASSOCIATES, LLC C/O SPANN	42 FIRST AVE-43 BEACHFRONT	125 OLD TRAM ST	LINCOLNTON, NC 280924243
165	15.03	MARCHIANO, ROBERT R & PATRICIA S	44 FIRST AVE	264 HAZEL AVE	WESTFIELD, NJ 070904143
165	15.04	SNIFFEN, MICHAEL J & ANNEMARIE	45 BEACHFRONT	45 BEACHFRONT	MANASQUAN, NJ 08736
165	16.01	ROBERTSON FAMILY IRR TRUSTS #1 & #2	46 FIRST AVE	1410 KINGS RD	NEWPORT BEACH, CA 926635017
165	16.02	ROBERTSON FAMILY IRR TRUSTS #1 & #2	47 BEACHFRONT	1410 KINGS RD	NEWPORT BEACH, CA 926635017
165	17	BOROUGH OF MANASQUAN	NO ADDRESS ASSIGNED	201 E MAIN ST	MANASQUAN, NJ 087363004
165	18	KELLNER, JEFFREY & MICHELE	48 FIRST AVE-49 BEACHFRONT	121 PERSONETTE AVE	VERONA, NJ 070441329
165	19.01	BIDE-A-WEE, LLC C/O TWADDELL, JILL	50 FIRST AVE	20 MITCHELL PL	AVENEL, NJ 070011514
165	19.02	SCHNEIDER, KEVIN A & MEGAN E	53 BEACHFRONT	53 BEACHFRONT	MANASQUAN, NJ 08736
165	20.01	KAISER, CARL III & DONNA	52 FIRST AVE	23 LONDONDERRY WAY	SUMMIT, NJ 079012913
165	20.02	GRIFFITHS, MARGUERITE	55 BEACHFRONT	3 PIERCE CT	GLEN MILLS, PA 193421787
165	21.01	MINTZ, ALAN J & ROBIN L	54 FIRST AVE	53 FARMSTEAD RD	SHORT HILLS, NJ 070781291
165	21.02	MINTZ, ALAN J & ROBIN L	57 BEACHFRONT	53 FARMSTEAD RD	SHORT HILLS, NJ 070781291
165	22	KELLY, FRANK JOHN	59 BEACHFRONT	59 BEACHFRONT	MANASQUAN, NJ 087363305
165	23	KYMER FAMILY TRUST & KYMER, DORIS E	61 BEACHFRONT	36 FAIRVIEW DR	EAST HANOVER, NJ 079363507
165	24.01	HOHENSTEIN, ROBERT F	60 FIRST AVE	838 WILLIAM DR	BRIELLE, NJ 087301738
165	25.01	CONDO, RALPH V & BETTY M REV TRUST	62 FIRST AVE	232 STONECREST PKWY	MILL SPRING, NJ 28756
166	1	FLOOD, KEVIN & JEANNE-MARIE	44 SECOND AVE	165 WINCHESTER CT	WASHINGTON TWP, NJ 07676
166	4	MSQ SECOND AVENUE, LLC C/O ESPOSITO	46 SECOND AVE	46 SECOND AVE	MANASQUAN, NJ 08736
166	5	BOSTEL, FREDERICK & MARLENE	48 SECOND AVE	48 SECOND AVE	MANASQUAN, NJ 08736
166	6	CAREY, MOIRA M & DANIEL J	52 SECOND AVE	8 WYNDMOOR DR	CONVENT STATION, NJ 079604632
166	7	SLESAR, STEPHAN JOSEPH JR & JENNIFER	56 SECOND AVE	29 NOON HILL RD	MEDFIELD, NJ 02052
166	8	EVANGELISTA, MARC & CARY	60 SECOND AVE	500 JERSEY AVENUE	SPRING LAKE, NJ 07762
166	16	OLMSTEAD, DONALD J JR & OLGA	61 FIRST AVE	61 FIRST AVE	MANASQUAN, NJ 087363352
166	17	MILLER, JAMES A & PATRICIA	57 FIRST AVE	57 FIRST AVE	MANASQUAN, NJ 087363352
166	18	KOPPER, KENNETH & JESSICA	53 FIRST AVE	3668 SOUTH CT	PALO ALTO, CA 943064257
166	19	BRAVIK, JOSEPH W & SUSAN M	49 FIRST AVE	782 OLD RARITAN RD	EDISON, NJ 088201014

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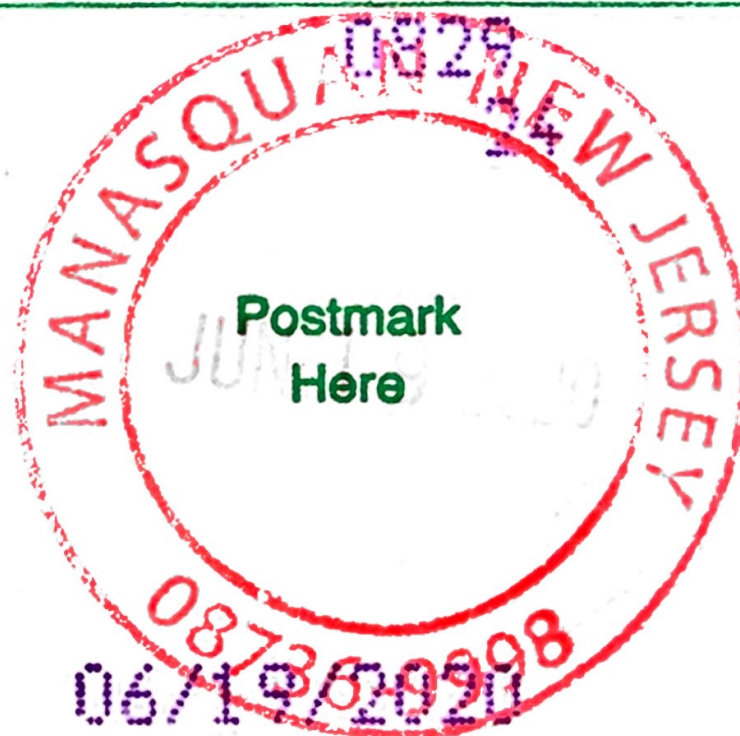
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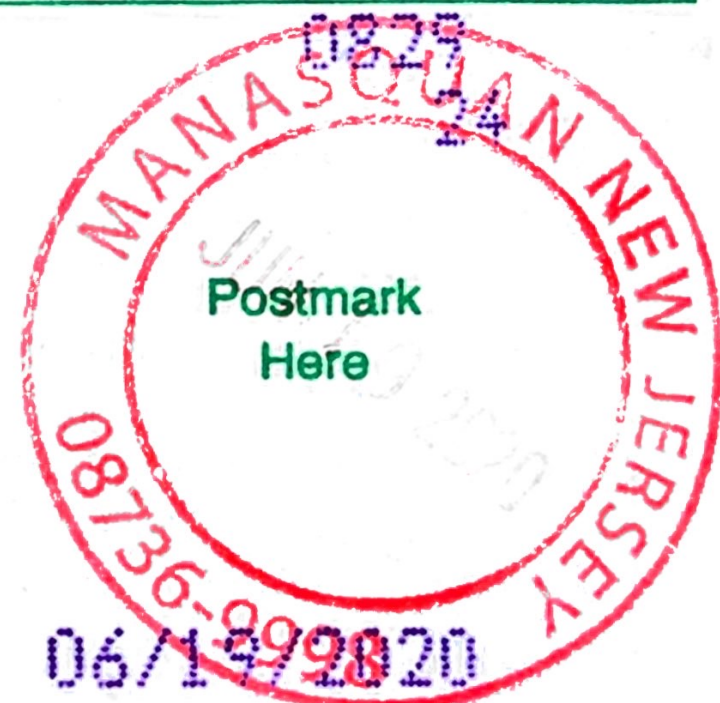
Street and Apt. No. or PO Box No.

Barbara & Thomas Delorenzo

City, State, ZIP+4®

37 First Ave

Manasquan, NJ 08736



06/19/2020

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Manasquan, NJ 08736

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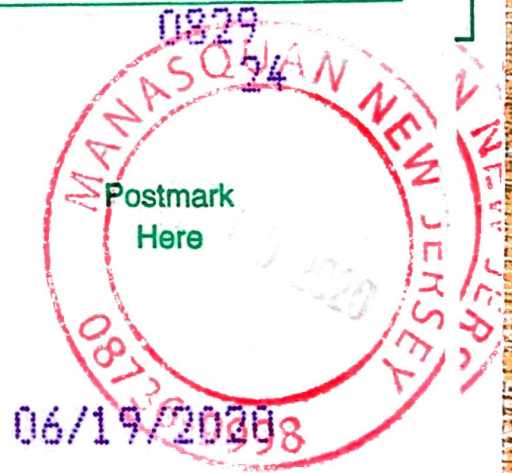
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Certified Mail Fee	\$3.55	\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)			
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$		

Postage \$0.55
\$

Total Postage and Fees \$4.10
\$



Sent To

Street and Apt. No., or Post Office Box No. John & Jessica Burke

City, State, ZIP+4® 4 Stockton Ave

Manasquan, NJ 08736

7019 0700 0001 4090 5692

7019 0700 0001 4090 57

For delivery information, visit our website at www.usps.com®.

OAKTON, VA 22124

OFFICIAL USE

Certified Mail Fee \$3.55

\$ 0.00

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$ 0.00
- Return Receipt (electronic) \$ 0.00
- Certified Mail Restricted Delivery \$ 0.00
- Adult Signature Required \$ 0.00
- Adult Signature Restricted Delivery \$

Postage \$0.55

\$

Total Postage and Fees \$4.10

\$

Sent To

Street and Apt. No. or R.F.D. or No. **Albertson-Prior Family Company LLC**

City, State, ZIP+4® **11302 Gerald Lane
Oakton, VA 22124**



06/19/2020

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MANASQUAN, NJ 08736

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$ \$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ \$0.00
<input type="checkbox"/> Adult Signature Required	\$ \$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$0.55
\$

Total Postage and Fees \$4.10
\$



06/19/2020

Sent To

Street and Apt. No., or PO Box No. Seigel Family LLC
City, State, ZIP+4® 2620 Lantern Light Way
Wall, NJ 08736

PS Form 3800, April 2019 Edition See Reverse for Instructions

7019 0700 0001 4090 5890

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SHORT HILLS, NJ 07078

Certified Mail Fee \$3.55

\$0.00

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$0.00

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$

Postage \$0.55

\$

Total Postage and Fees \$4.10

\$

Sent To

Street and Apt. No., or PO Box Alan Mintz

City, State, ZIP+4® 53 Farmstead Rd

Short Hills, NJ 07078



Postmark
Here

06/19/2020

See Reverse for Instructions

PS Form 3800, April 2015 PSN 7530-02-000-9047

PS Form 3800, APRIL 2015 PSN 7530-02-000-9047

PS Form 3800, April 2015 PSN 7530-02-000-9047

7019 0700 0001 4090 5708

7019 0700 0001 4090 5807

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MANASQUAN, NJ 08736

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$0.55

Total Postage and Fees \$4.10

Sent To

Mary McLoughlin, Daniel & Rogevich
38 First Ave
Manasquan, NJ 08736



PS Form 3800, April 2015

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MANASQUAN, NJ 08736

OFFICIAL USE

Certified Mail Fee

\$3.55

\$

Extra Services & Fees (check box, add fee as appropriate)

- | | | |
|--|----|--------|
| <input type="checkbox"/> Return Receipt (hardcopy) | \$ | \$0.00 |
| <input type="checkbox"/> Return Receipt (electronic) | \$ | \$0.00 |
| <input type="checkbox"/> Certified Mail Restricted Delivery | \$ | \$0.00 |
| <input type="checkbox"/> Adult Signature Required | \$ | \$0.00 |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ | \$0.00 |

Postage

\$0.55

\$

Total Postage and Fees

\$4.10

\$

Sent To

Street and Apt. No., or PO Box No.

Pamela Lewis

City, State, ZIP+4®

40 First Ave

Manasquan, NJ 08736

PS Form 3800, April 2015 PSN 7530-02-000-9047

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INSTRUCTIONS



7019 0700 0001 4090 5906

7019 0700 0001 4090 5715

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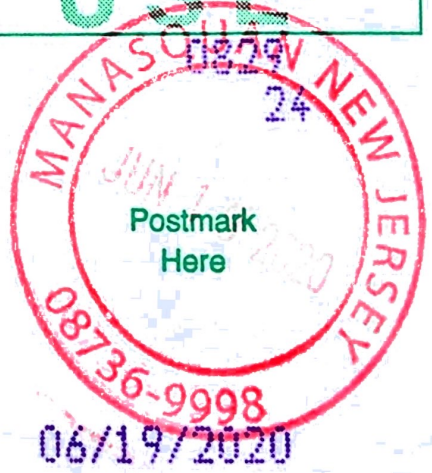
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

LINCOLNTON, NC 28092

OFFICIAL USE

Certified Mail Fee	\$3.55	
\$		\$0.00
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$0.55	
\$		
Total Postage and Fees	\$4.10	
\$		



Sent To

Street and Apt. No. **PLU Associates, LLC, c/o Spann**

125 Old Tram Street

City, State, ZIP+4® **Lincolnton, NC 28092**

7019 0700 0001 4090 5814

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WESTFIELD, NJ 07090

Certified Mail Fee	\$3.55	
\$		\$0.00
Extra Services & Fees (check box, add fee as appropriate)		\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$0.55	
\$		
Total Postage and Fees	\$4.10	
\$		



Sent To

Street and Apt. No. **Robert & Patricia Marchiano**

264 Hazel Ave

City, State, ZIP+4® **Westfield, NJ 07090**

7019 0700 0001 4090 5913

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MANASQUAN, NJ 08736

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55

\$

Total Postage and Fees \$4.10

\$

Sent To

Street and Apt. No. PO Box No. Michael & Annemarie Sniffen

City, State, ZIP+4® 45 Beachfront

Manasquan, NJ 08736

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Newport Beach, CA 92668 See Reverse for Instructions

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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NEWPORT BEACH, CA 92663

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$0.55

\$
Total Postage and Fees \$4.10

Sent To

Street and Apt. No., or PO Box No.

Robertson Family IRR Trusts #1 and #2

City, State, ZIP+4®

1410 Kings Road
Newport Beach, CA 92663



7019 0700 0001 4090 5722

PS

See [Postage & Fees](#) for Instructions

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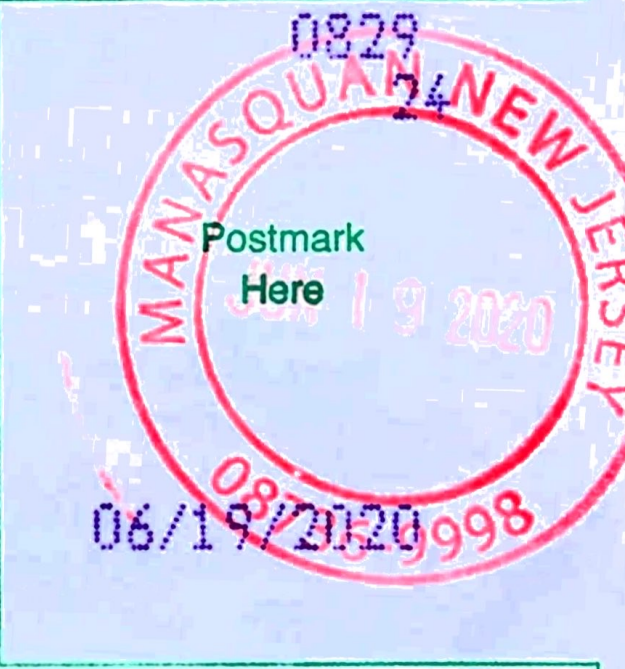
VERONA, NJ 07044

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55
\$

Total Postage and Fees \$4.10
\$



Sent To
Street and Apt. No. **Jeffery & Michele Kellner**
City, State, ZIP+4® **121 Personette Ave**
Verona, NJ 07044

7019 0700 0001 4090 5821

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AVENEL, NJ 07001

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
\$	
Total Postage and Fees	\$4.10
\$	



Sent To

Street and Apt. No. or PO Box No. **Bide-A-Wee LLC c/o Twaddell**

City, State, ZIP+4® **20 Mitchell Place
 Avenel, NJ 07001**

2019 0700 0001 4090 5920

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MANASQUAN, NJ 08736

OFFICIAL USE

Certified Mail Fee \$3.55

\$ 0.00

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$ 0.00
- Return Receipt (electronic) \$ 0.00
- Certified Mail Restricted Delivery \$ 0.00
- Adult Signature Required \$ 0.00
- Adult Signature Restricted Delivery \$

Postage \$0.55

\$

Total Postage and Fees \$4.10

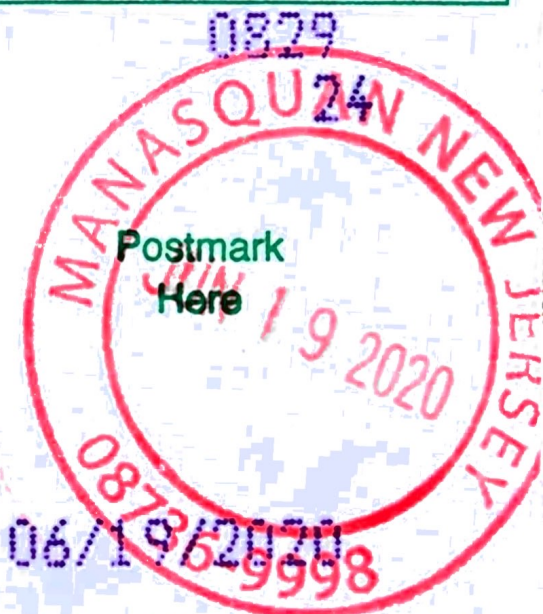
\$

Sent To

Street and Apt. No. or PO Box No. Kevin & Megan Schneider

City, State, ZIP+4® 53 Beachfront

Manasquan, NJ 08736



06/19/2020 9998

7019 0700 0001 4090 5739

7019 0700 0001 4090 5838

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SUMMIT, NJ 07901

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$0.55
\$

Total Postage and Fees \$4.10
\$



Sent To
Street and Apt. No. or PO Box No. Carl & Donna Kaiser
City, State, ZIP+4® 23 Londonderry Way
Summit, NJ 07901

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GLEN MILLS, PA 19342

OFFICIAL USE

Certified Mail Fee \$3.55

\$0.00

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$0.00

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$

Postage \$0.55

\$

Total Postage and Fees \$4.10

\$

Sent To

Street and Apt. No., or PO Box No. Marquerite Griffiths

City, State, ZIP+4® 3 Pierce Ct

Glen Mills, PA 19342



2019 0700 0001 4090 5937

7019 0700 0001 4090 5944

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MANASQUAN, NJ 08736

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$0.55

Total Postage and Fees \$4.10



Sent To

Street and Apt. No., or P.O. Box No. **Frank John Kelly**

City, State, ZIP+4® **59 Beachfront**

Manasquan, NJ 08736

PS Form 3800, April 2015 PSN 7530-02-000-9047

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EAST HANOVER, NJ 07936

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$0.55
\$

Total Postage and Fees \$4.10
\$



Sent To
Street and Apt. No. Doris Kymer Family Trust
City, State, ZIP+4® 36 Fairview Dr
East Hanover, NJ 07936

7019 0700 0001 4090 5999

7019 0700 0001 4090 6040

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BRIELLE, NJ 08730

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$0.55

\$

Total Postage and Fees \$4.10

\$

Sent To

Street and Apt. No., or P.O. Box **Robert Hohenstein**

City, State, ZIP+4® **838 William Dr**

Brielle, NJ 08730



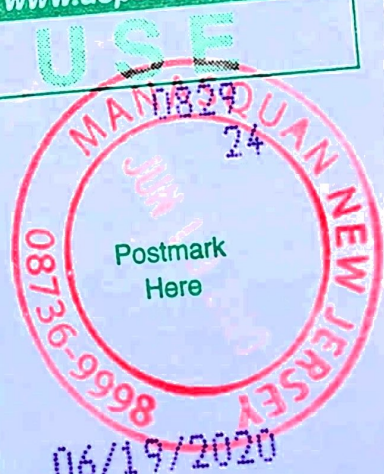
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HILL SPRING, NC 28756

7019 0700 0001 4090 5951

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$4.10



Sent To

Street and Apt. **Ralph & Betty Rev Trust Condo**
232 Stonecrest Pkwy
City, State, ZIP+4® **Mill Spring, NJ 28756**

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TOWNSHIP OF WASHINGTON, NJ 07676

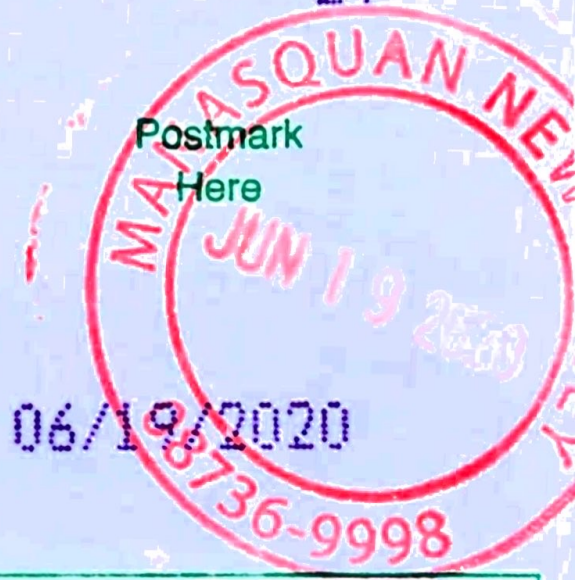
OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55
\$

Total Postage and Fees \$4.10
\$

0829
24



06/19/2020

Sent To

Street and Apt. No., ~~or PO Box No.~~ Kevin & Jeanne Flood

165 Winchester Ct

City, State, ZIP+4® Washington Twp, NJ 07676

7019 0700 0001 4090 6002

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MANASQUAN, NJ 08736

OFFICIAL USE

Certified Mail Fee \$3.55

\$0.00

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$0.00

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$

Postage \$0.55

Total Postage and Fees \$4.10

Sent To

MSQ Second Ave LLC c/o Esposito

46 Second Ave

City, State, ZIP+4®

Manasquan, NJ 08736



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7019 0700 0001 4090 5968
0604 1000 0020 6102

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MANASQUAN, NJ 08736

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$0.55
\$	
Total Postage and Fees	\$4.10
\$	



06/19/2020

Sent To
 Street and Apt. No., or P.O. No. Fred & Marlene Bostel
 City, State, ZIP+4® 48 Second Ave
 Manasquan, NJ 08736

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MORRISTOWN, NJ 07960

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55
\$

Total Postage and Fees \$4.10
\$



06/19/2020

Sent To
Street and Apt. No., or P.O. Box No. **Moira & Daniel Carey**
City, State, ZIP+4® **8 Wyndmoor Dr**
Convent Station, NJ 07960

7019 0700 0001 4090 6019

7019 0700 0001 4090 6064

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MEDFIELD, MA 02052

OFFICIAL USE

Certified Mail Fee	\$3.55	
\$		\$0.00
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$0.55	
\$		
Total Postage and Fees	\$4.10	
\$		



Sent To

Street and PO Box No. Stephan Joseph & Jennifer Slesar

City, State, ZIP+4® 29 Noon Hill Rd
Medfield, NJ 02052

7019 0700 0001 4090 5975

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

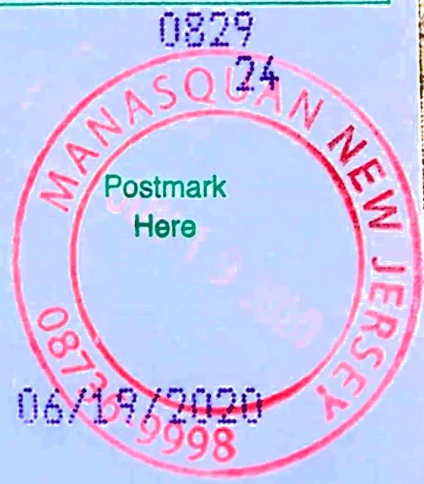
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

SPRING LAKE, NJ 07762

OFFICIAL USE

Certified Mail Fee	\$3.55	
\$		\$0.00
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$0.55	
\$		
Total Postage and Fees	\$4.10	
\$		



Sent To

Street and Apt. No. or PO Box, Inc. Marc & Cary Evangelista

City, State, ZIP+4® 500 Jersey Avenue
Spring Lake, NJ 07762

7019 0700 0000 4090 6026

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MANASQUAN, NJ 08736

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$0.55
\$

Total Postage and Fees \$4.10
\$



Sent To
Street and Apt. No. or PO Box No. Donald & Olga Olmstead
City, State, ZIP+4® 61 First Ave
Manasquan, NJ 08736

7019 0700 0001 4090 6071

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MANASQUAN, NJ 08736

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$0.55
\$	
Total Postage and Fees	\$4.10
\$	



06/19/2020

Sent To
 Street and Apt. No. James & Patricia Miller
 57 First Ave
 City, State, ZIP+4® Manasquan, NJ 08736

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PAID PALO ALTO, CA 94306

OFFICIAL USE

7019 0700 0001 4090 5982

Certified Mail Fee	\$3.55	
\$		\$0.00
Extra Services & Fees (check box, add fee as appropriate)		\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$0.55	
\$		
Total Postage and Fees	\$4.10	
\$		



Sent To
 Street and Apt. No. Kenneth & Jessica Kopper
 3668 South Ct
 City, State, ZIP+4® Palo Alto, CA 94306

7019 0700 0001 4090 6033

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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EDISON, NJ 08820

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$0.55

Total Postage and Fees \$4.10



06/19/2020

Sent To

Street and Apt. No., or P.O. Box Joseph & Susan Braviak

City, State, ZIP+4® 782 Old Raritan Rd
Edison, NJ 08820

Do Not Scale The Drawings

The contractor is to field verify all dimensions prior to start of any work or construction.

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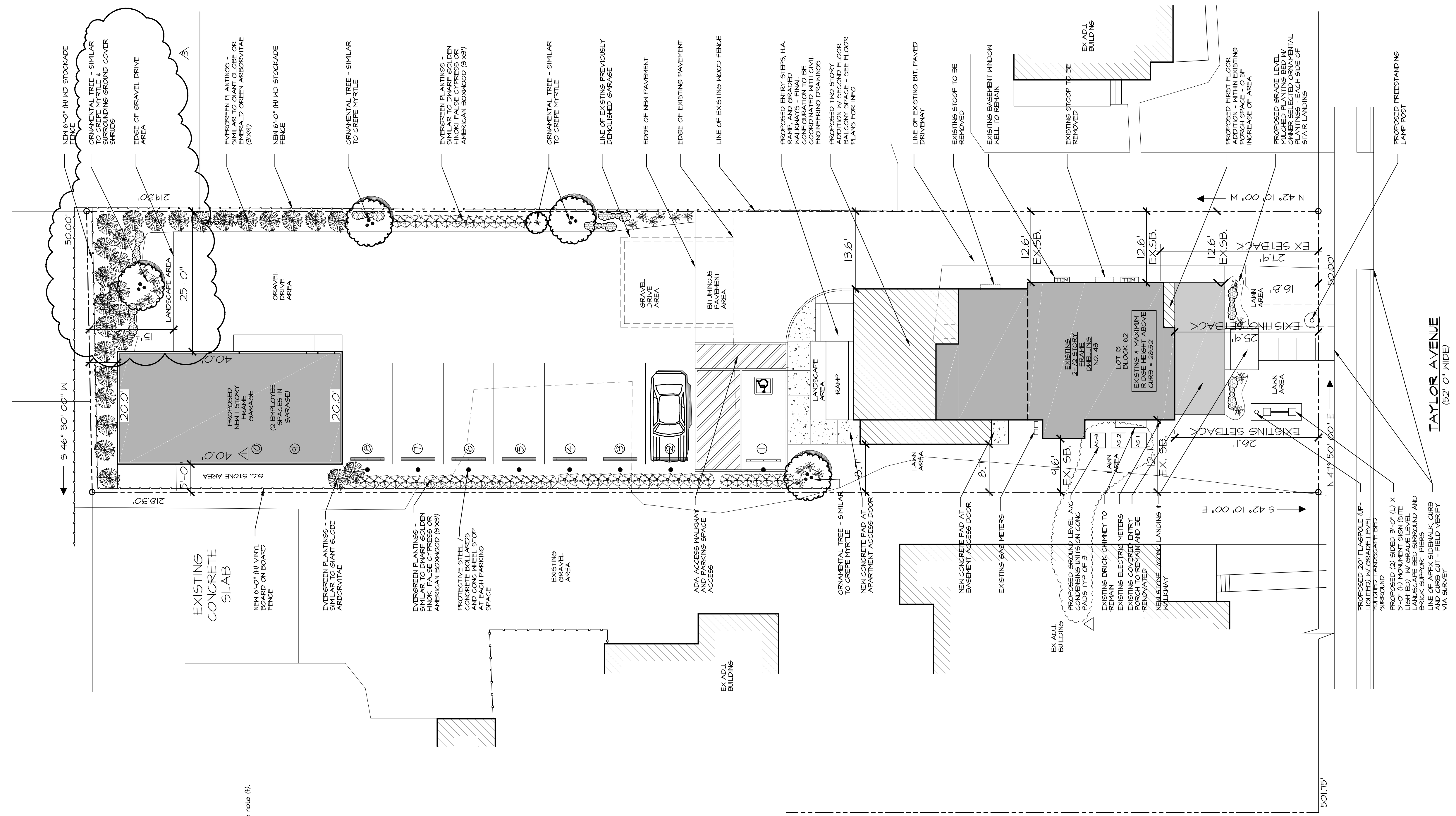
ZONING SCHEDULE	REQUIRED BY CODE	EXISTING	PROPOSED	ZONE 10 MANASSAAN	STATUS
MIN. LOT AREA	5000 SF	10494.41 SF EXISTING	NO CHANGE	NO CHANGE	CONFORMING
MIN. LOT FRONTAGE	50'-0"	50'-0" EXISTING	NO CHANGE	NO CHANGE	CONFORMING
MIN FRONT SETBACK	25'-0"	26.9' BUILDING 16.6' COV PORCH	NO CHANGE	NO CHANGE	CONF - BUILDING EX NON CONF - PORCH
MIN REAR SETBACK	20'-0"	47'-11/4" EXISTING	47'-11/4"	NO CHANGE	CONFORMING
MIN SIDE SETBACK	15'-0" (corner) 15'-0"	12.6' EXISTING (S-W SIDE) 12.6' EXISTING (N-E SIDE)	12.6' NO CHANGE	12.6' NO CHANGE	CONFORMING
MAXIMUM BUILDING HEIGHT STORIES HEIGHT	2.5 STORIES	2.5 STORIES	NO CHANGE	NO CHANGE	CONFORMING
MIN FRONT SETBACK	25'-0"	104.20' PREVIOUSLY EX	115.11' PROPOSED	115.11' PROPOSED	CONFORMING
MIN REAR SETBACK	5'-0"	94.66' PREVIOUSLY EX	5'-0' PROPOSED	5'-0' PROPOSED	CONFORMING
MIN SIDE SETBACK	5'-0"	4.65' PREVIOUSLY EX	5'-0' PROPOSED	5'-0' PROPOSED	CONFORMING
MAXIMUM BUILDING HEIGHT STORIES HEIGHT	1 STORIES	1 STORIES PRESUMED	1 STORY PROPOSED	13.0' PROPOSED MAX	CONFORMING
MAX BUILDING COVERAGE	30% OR 3221.4 SF	111.28% OR 1226 SF**	22.18% OR 250.8 SF**	22.18% OR 250.8 SF**	CONFORMING*
MAX LOT COVERAGE	60% OR 6543.9 SF	32.18% OR 3516 SF**	50.18% OR 5456 SF**	50.18% OR 5456 SF**	CONFORMING*

NOTE: THIS PROJECT INCLUDES THE CONVERSION OF AN EXISTING TWO FAMILY RESIDENCE INTO A MIXED USE BUILDING WHICH IS TO INCLUDE A FIRST FLOOR PROFESSIONAL OFFICE USE WITH A SECOND FLOOR PROFESSIONAL OFFICE AND A NEW GARAGE ACCESSORY BUILDING WITH 1 OFFICE + 1 DWELLING UNIT.

PARKING REQUIREMENTS:
PROVIDE 2 PARKING SPACES PER DWELLING UNIT.
PER ZONING ORDINANCE PROVIDE 1 SPACE PER 300 SF OF GFA FOR EMPLOYEE AND PATRON USE AREAS.
NUMBER OF DWELLING UNITS = 1 X 2 SPACES / UNIT = 2 SPACES REQUIRED
AREA OF GFA FOR EMPLOYEE AND PATRONS = 1236.4 / 300 SF PER SPACE = 2.45 SPACES REQUIRED
TOTAL SPACES REQUIRED = 5 TOTAL SPACES PROVIDED = 10 1/2 IN GARAGE + 1 OFF-STREET + 1 HA. PARKING SPACE)

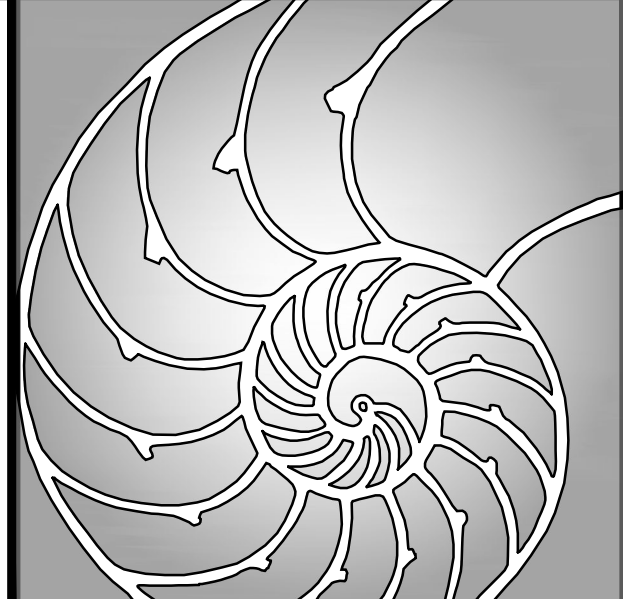
PROPOSED EXISTING COVERAGE

* REFER TO CIVIL ENGINEERING DRAWINGS BY OTHERS FOR ADDITIONAL ZONING TABLE INFORMATION AND FOR LOT COVERAGE CALCULATIONS AND SUMMARIES



NOTE: THIS IS NOT A SURVEY. ARCHITECTURAL SITE PLAN IS BASED ON A SURVEY PREPARED BY DAVIS AND DAVIS ENGINEERS, PROFESSIONAL ENGINEERS & LAND SURVEYORS, WALL, N.J. DATED FEBRUARY 4, 2014

CONCEPT ARCH SITE PLAN
SCALE: 1" = 10'-0"



B.L.D.G
Architecture, LLC

611 UNION AVE, BUILDING 3, STE 14
BRIELLE, NEW JERSEY 08130
TEL: 1.732.223.1135
EMAIL: INFO@BLDGLLC.COM
WEB: WWW.BLDGLLC.COM

Daniel Lynch, R.A.
N.J. Architect No. A117862
N.Y. Architect No. 033641-1
NCARB Reg. No. 662271
CERT OF AUTH. No. 21AC00061000

Original Raised Seal
Signature: _____
Date: 1/13/2020

Revisions	By	Date
client review	DL	4.9.19
parking & hvac	DL	10.20.19
omit gar apt	DL	11.05.19
move gar & civ	DL	1/13/2020
coord landscape buffer	DL	1.25.2020

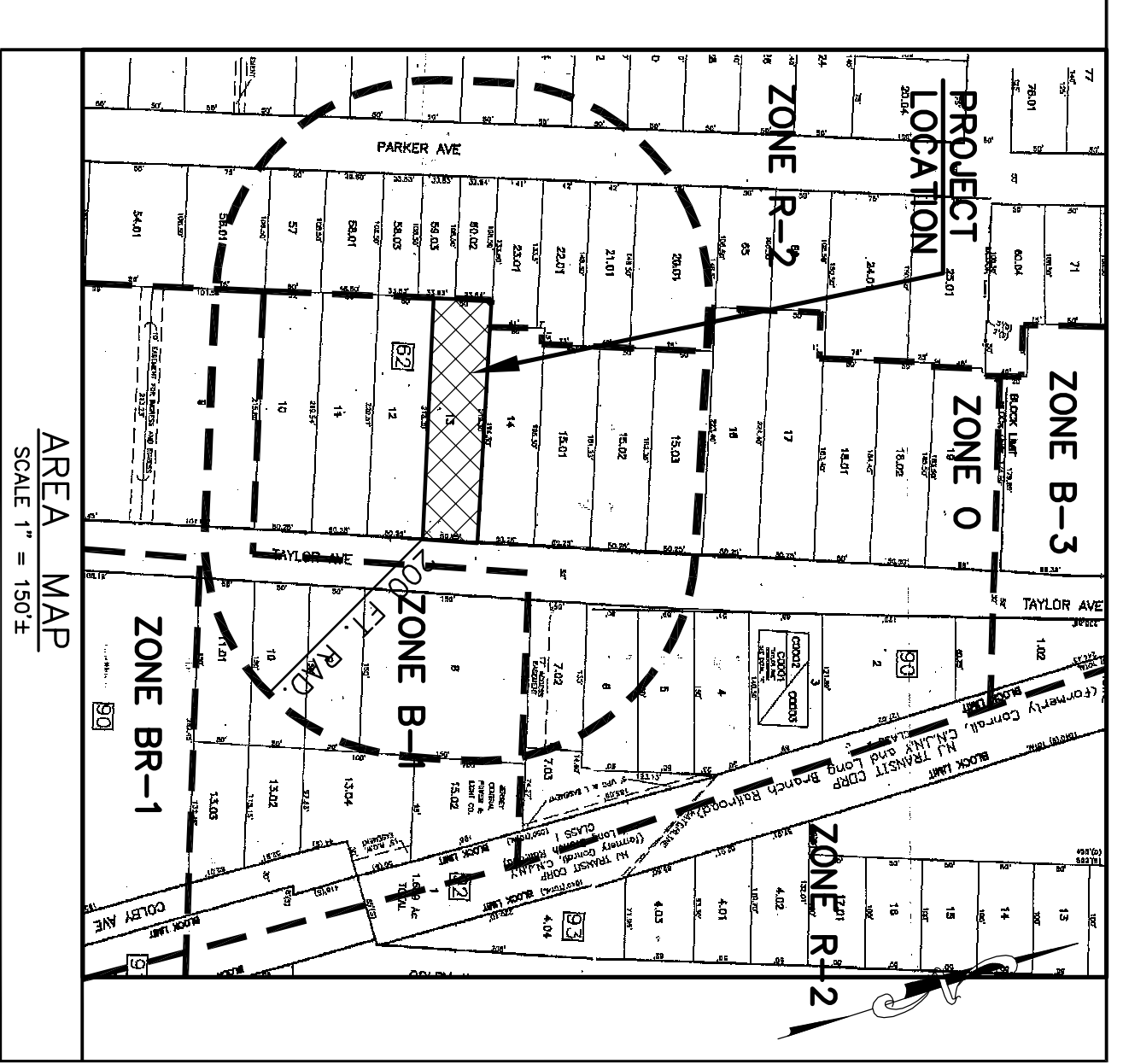
Addition and Alterations for
43 Taylor Avenue
Lot: 13 Block: 62
Manassan
New Jersey

Project: _____
Sheet Title: **CONCEPT SITE PLAN**

Scale: AS NOTED
Drawn By: DL
Chk'd by: DL

Sheet No.: **ASP1.0**
1 OF 6

Project No.: 19-013

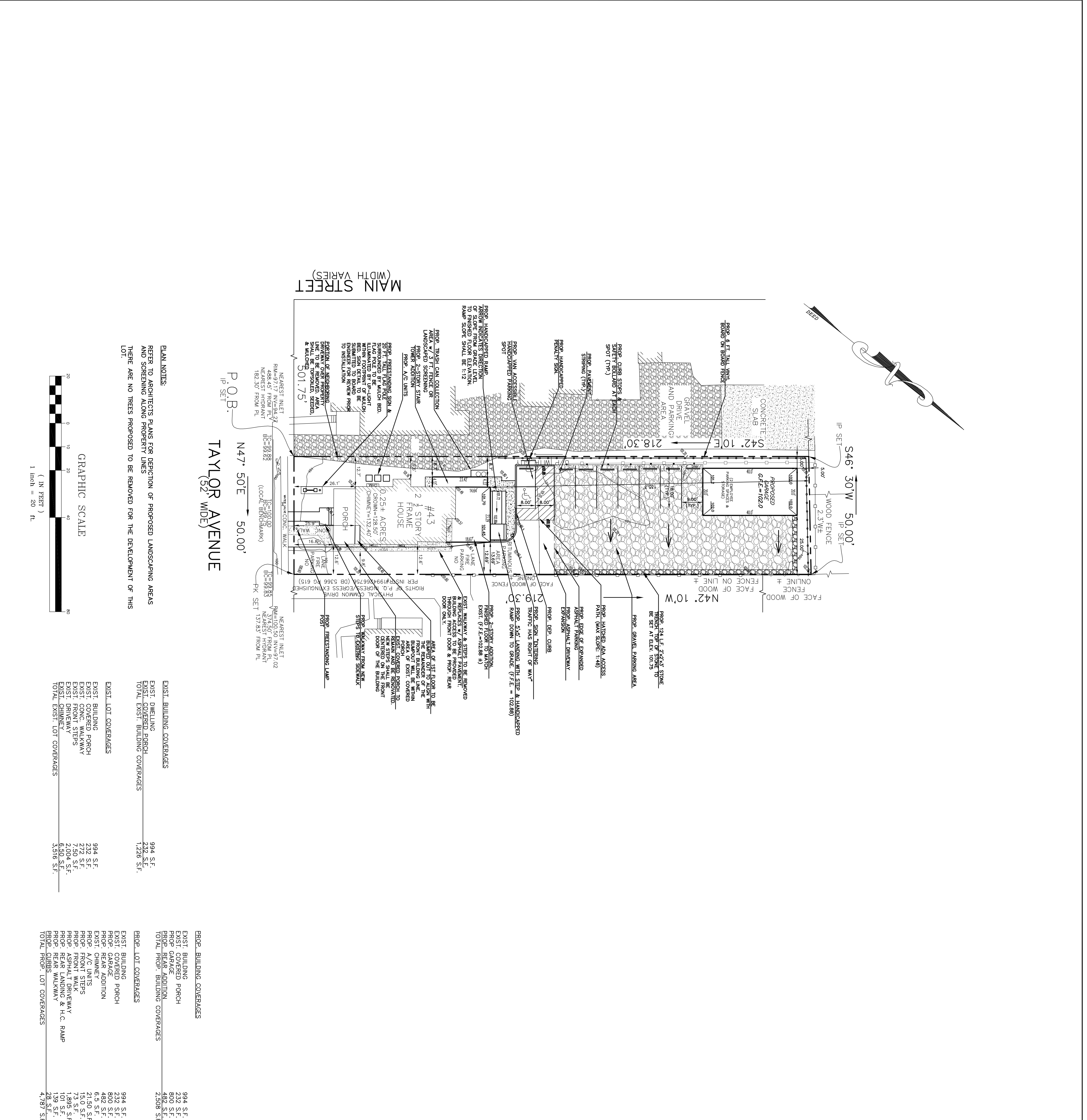


GENERAL NOTES
PROPERTY ID KNOWN AS BLOCK 62 LOT 13 AS SHOWN ON SHEET 11 OF THE ORIGINAL TAX MAPS OF THE BOROUGH OF MANASSAUN, MONMOUTH COUNTY, NEW JERSEY.
PROPERTY IS LOCATED IN THE 'O' OFFICE ZONE AND CONTAINS A TOTAL OF 0.254 ACRES.
OWNER/APPLICANT: DAVID & GAIL VASILENKO
36 BROAD STREET
MANASSAUN, NJ 08736
APPLICANT PROPOSES TO CONVERT THE EXISTING RESIDENCE INTO OFFICE SPACE W/ A SECOND STORY APARTMENT. AN ADDITION WILL BE CONSTRUCTED AT THE REAR OF THE EXISTING BUILDING ALONG WITH A FREESTANDING GARAGE AND ASSOCIATED SITE IMPROVEMENTS.
ZONE O - OFFICE

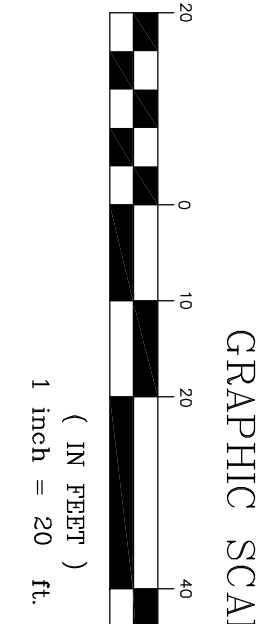
DESCRIPTION	REQUIRED/PERMITTED	EXISTING	PROPOSED
OFFICE OR SINGLE FAMILY BUILDING USE	* MULTI-FAMILY RESIDENTIAL	* * OFFICE W/ APT ABOVE	
LOT AREA	10,940 S.F.	10,940 S.F.	
MIN. LOT FRONTAGE	50.25 FT.	50.25 FT.	
(DWELLING) FRONT YARD SETBACK (EXISTING)	25 FT.	25.9 FT.	
(*) / ADDITION		25.9 FT.	
(PORCH) FRONT YARD SETBACK (EXISTING)	25 FT.	16.8 FT.	
(*) / ADDITION		N/A	
SIDE YARD SETBACK (EXISTING)	5 & 5 FT.	9.6 & 12.6 FT.	
(*) / ADDITION		8.7 & 12.6 FT.	
REAR YARD SETBACK	20 FT.	153.3 FT.	
MAX. BUILDING COVERAGE	30 % (3,280,200 S.F.)	11.21 % (1,228 S.F.)	22.43 % (2,508 S.F.)
MAX. LOT COVERAGE	60 % (6,560,400 S.F.)	32.14 % (3,518 S.F.)	43.76 % (4,787 S.F.)
MAX. BLDG. HEIGHT	35 FT. (2.5 STY.)	28.50 FT. (2.9 STOR.)	33.00 FT. (3.2 STOR.)
ACCESS BLDG. REAR S.B.	5 FT.	N/A	5 FT.
ACCESS BLDG. HEIGHT	15 FT.	N/A	15 FT.
ACCESS BLDG. AREA	600 S.F.	N/A	** 800 S.F.
PARKING	SEE BELOW	10 SPACES	10 SPACES
MIN. REAR SETBACK TO PARKING	15 FT.	114.9 FT.	45 FT.
MIN. DRIVEWAY AISLE	24 FT.	* 9.8 FT.	* 9.8 FT.
MIN. DRIVEWAY SETBACK	1 FT.	* 0 FT.	* 0 FT.
** - INDICATES EXISTING NON-CONFORMITY			
** - INDICATES VARIANCE REQUESTED			
REQUIRED PARKING			
SINGLE FAMILY RESIDENTIAL:		2 PER DWELLING UNIT	
OFFICE SPACE:		1 PER 300 S.F. GROSS FLOOR AREA	
REQUIRED:			
SINGLE FAMILY DWELLING (1 UNIT) = 2 SPACES			
OFFICE SPACE (1,426 S.F.) = 4.82 SPACES			
TOTAL REQUIRED = 6.92 SPACES = 7 SPACES			

17/27 - REVISD PER OWNER & PLANNING BOARD ENGINEER REVIEW COMMENTS
VASILENKO PRELIMINARY & FINAL SITE PLAN
 43 TAYLOR AVENUE
R.C. ASSOCIATES
Consulting, Inc.
 Valley Park Professional Center
 2517 Route 35 Building J Suite 102
 Manassquan, New Jersey, 08736
 Ph. 732-528-0141 • Fax 732-528-1060

PROPERTY SHALL BE SERVICED BY EXISTING PUBLIC SEWER AND WATER SERVICES
 - EXISTING CURB SHALL BE REPLACED AS DETERMINED BY THE ZONING OFFICER OR BOROUGH ENGINEER
 - BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY ENTITLED 'EXISTING CONDITIONS MAP FOR APPLICATION OF VARIANCE (INCLUDING EXISTING GRADING)', PREPARED FOR DAVID & GAIL VASILENKO BY DAVID & GAIL VASILENKO, PROFESSIONAL ENGINEERS, L.L.C., DATED 11-5-19, 24659433700, ON BEHALF OF DAVIS AND DAVIS ENGINEERS, L.L.C., DATED 11-5-19.



PLAN NOTES:
 REFER TO ARCHITECTS PLANS FOR DEPICTION OF PROPOSED LANDSCAPING AREAS AND SCREENING ALONG PROPERTY LINES
 THERE ARE NO TREES PROPOSED TO BE REMOVED FOR THE DEVELOPMENT OF THIS LOT.



EXIST. BUILDING COVERAGES

EXIST. DWELLING	994 S.F.
EXIST. COVERED PORCH	232 S.F.
TOTAL EXIST. BUILDING COVERAGES	1,226 S.F.

EXIST. LOT COVERAGES

EXIST. BUILDING	994 S.F.
EXIST. COVERED PORCH	232 S.F.
EXIST. CONC. WALKWAY	77 S.F.
EXIST. DRIVEWAY	2,004 S.F.
EXIST. CHIMNEY	6.50 S.F.
TOTAL EXIST. LOT COVERAGES	3,516 S.F.

PROPOSED BUILDING COVERAGES

EXIST. BUILDING	994 S.F.
EXIST. COVERED PORCH	232 S.F.
PROPOSED GARAGE	800 S.F.
PROPOSED ADDITION	449 S.F.
TOTAL PROPOSED BUILDING COVERAGES	2,508 S.F.

PROPOSED LOT COVERAGES

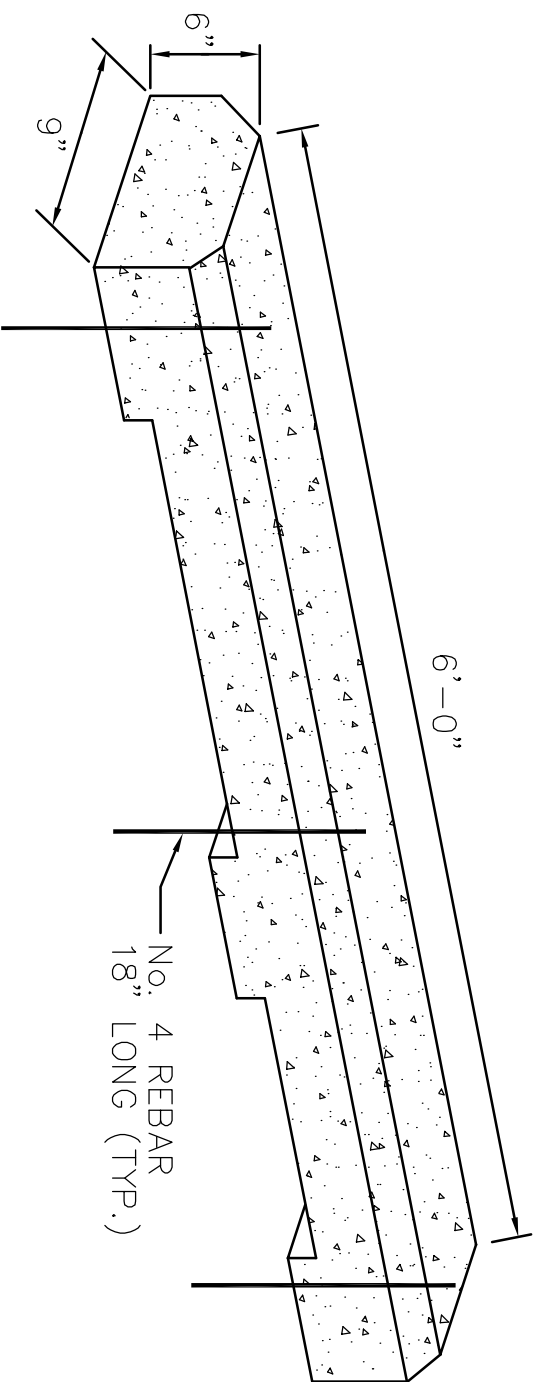
EXIST. BUILDING	994 S.F.
EXIST. COVERED PORCH	232 S.F.
PROPOSED GARAGE	800 S.F.
PROPOSED REAR ADDITION	449 S.F.
EXIST. CHIMNEY	6.5 S.F.
PROPOSED A/C UNITS	2150 S.F.
PROPOSED FRONT STEPS	15.0 S.F.
PROPOSED ASPHALT DRIVEWAY	1,895 S.F.
PROPOSED REAR LANDING & H.C. RAMP	101 S.F.
PROPOSED REAR WALKWAY	139 S.F.
TOTAL PROPOSED LOT COVERAGES	4,787 S.F.

17/27 - REVISD PER OWNER & PLANNING BOARD ENGINEER REVIEW COMMENTS
VASILENKO PRELIMINARY & FINAL SITE PLAN
 43 TAYLOR AVENUE
R.C. ASSOCIATES
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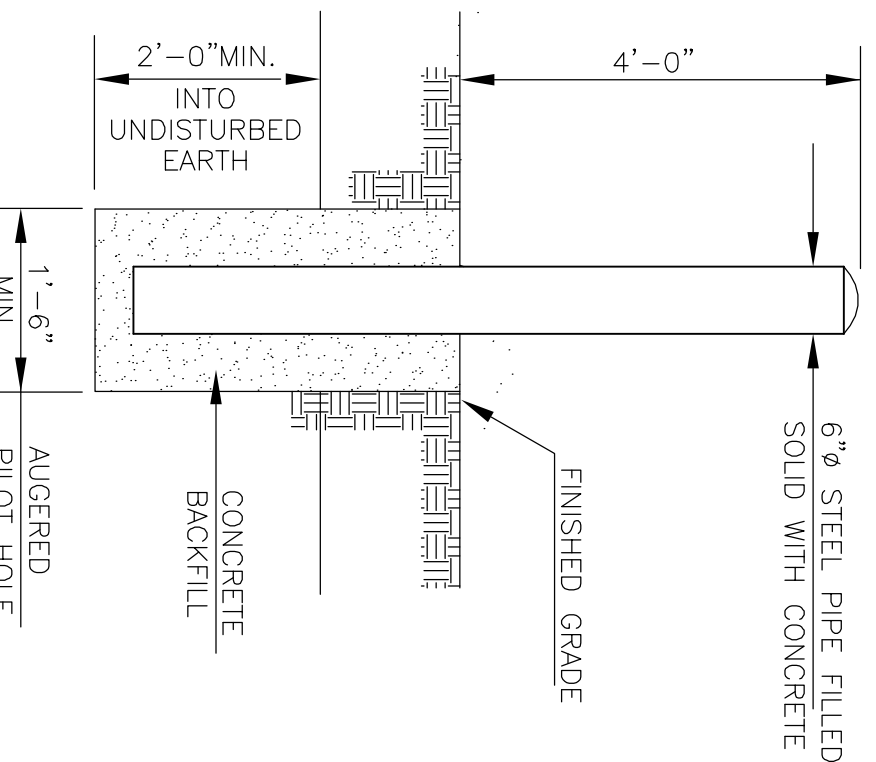
RAY CARPENTER P.E.

PROFESSIONAL ENGINEER, N.J. Lic. No. G623223

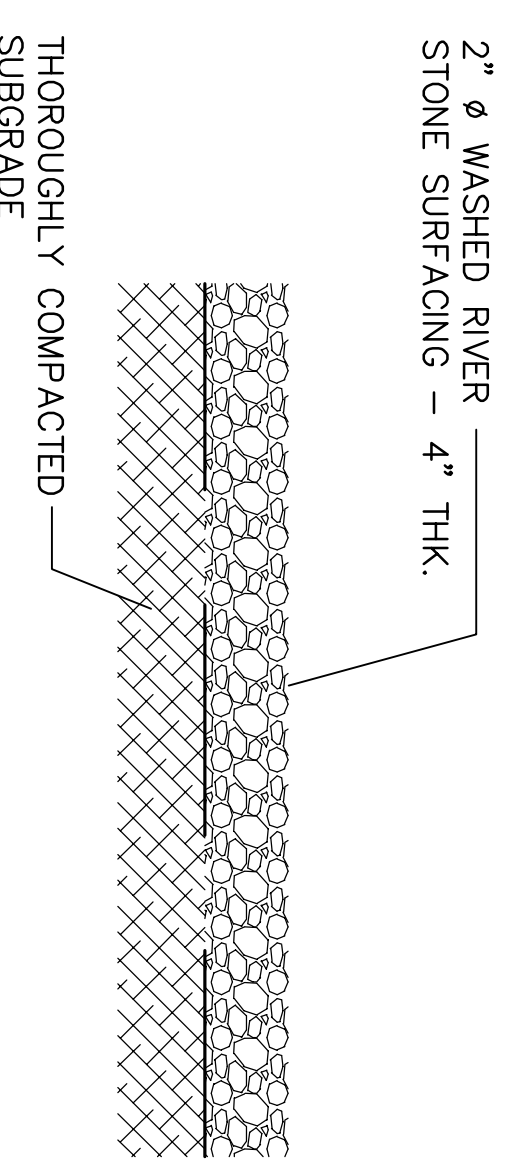
DATE: 1/9/20
 SCALE: AS SHOWN
 JOB #: 2019.194
 SHEET: 1 OF 2



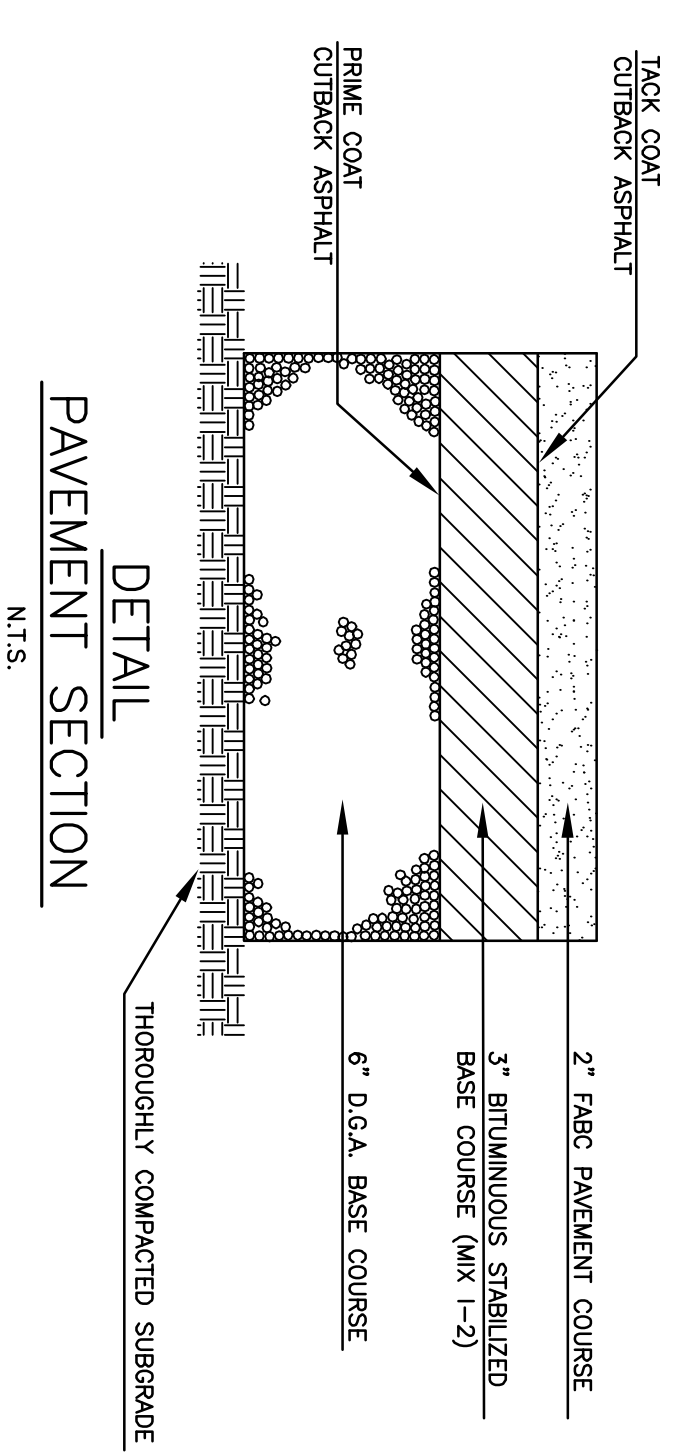
DETAIL
PRECAST CONCRETE WHEELSTOP
N.T.S.



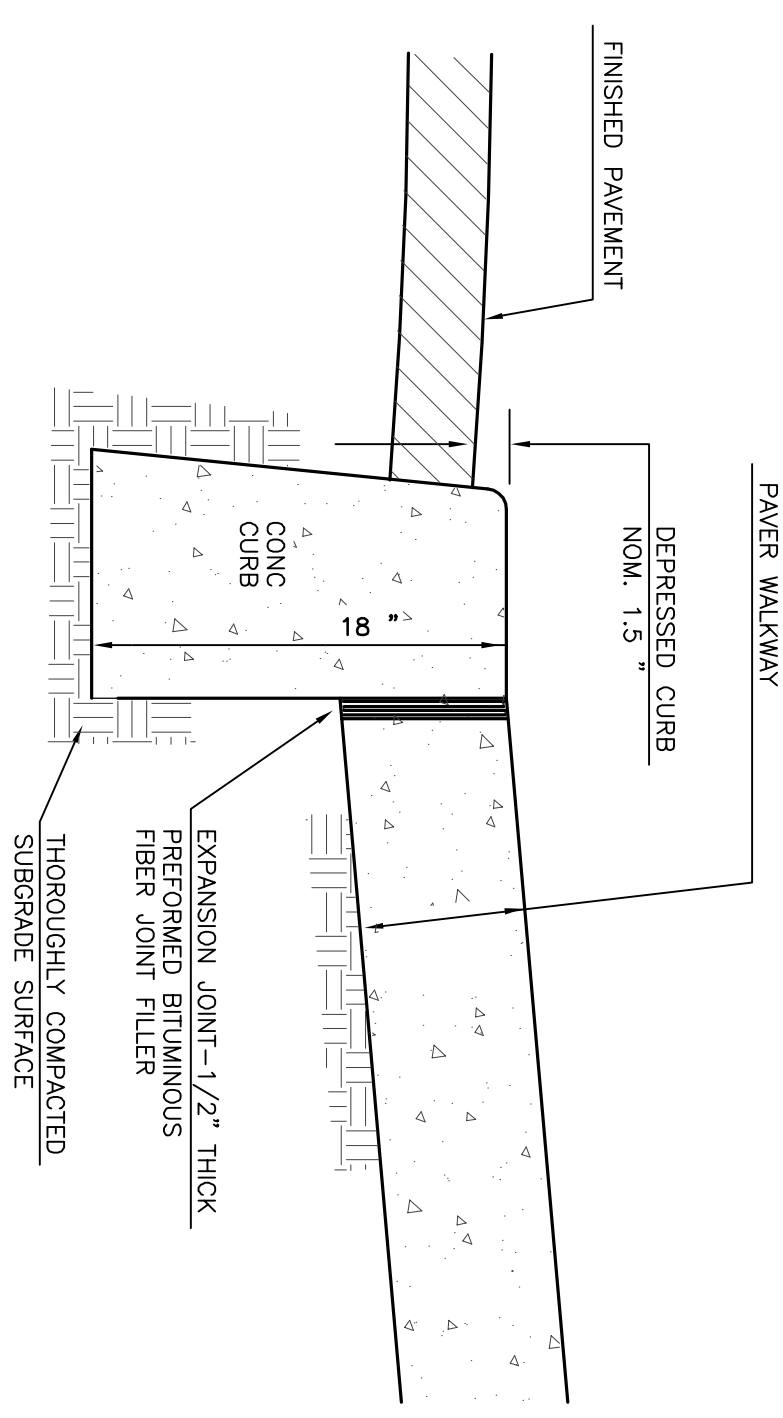
DETAIL
PROTECTIVE BOLLARD
N.T.S.



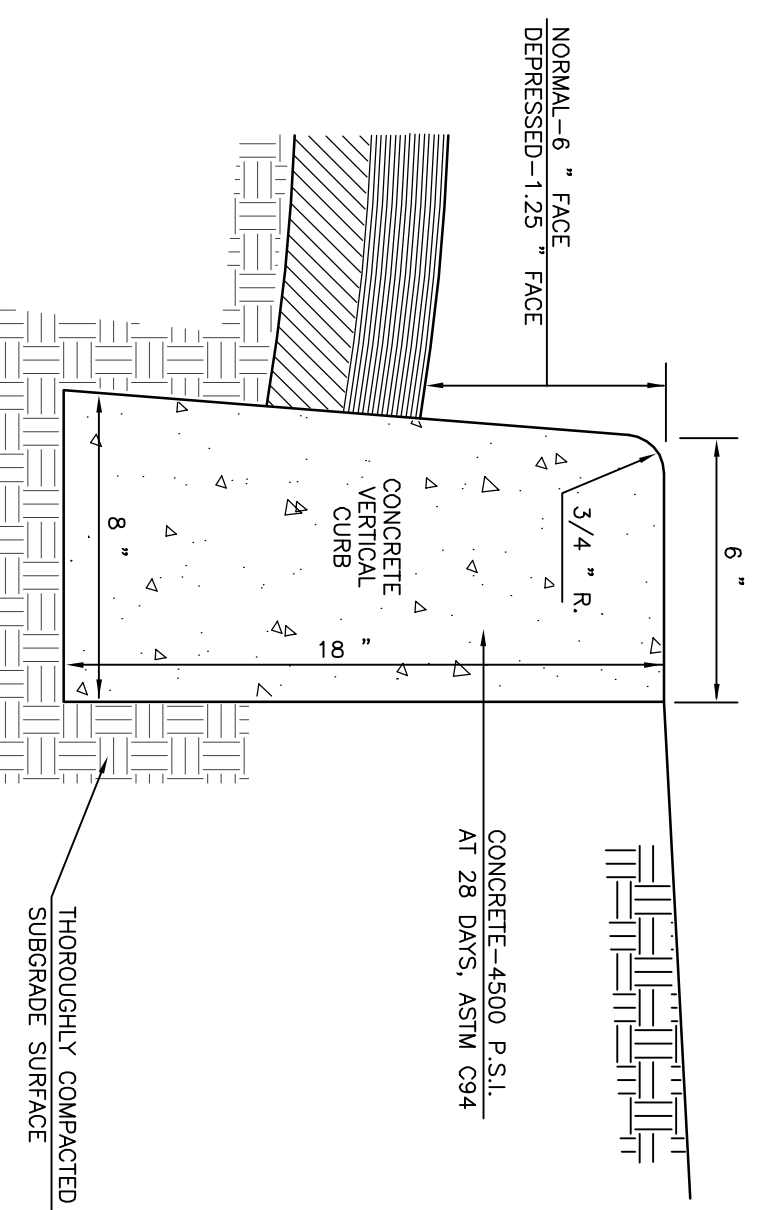
DETAIL:
STONE SURFACING SECTION
N.T.S.



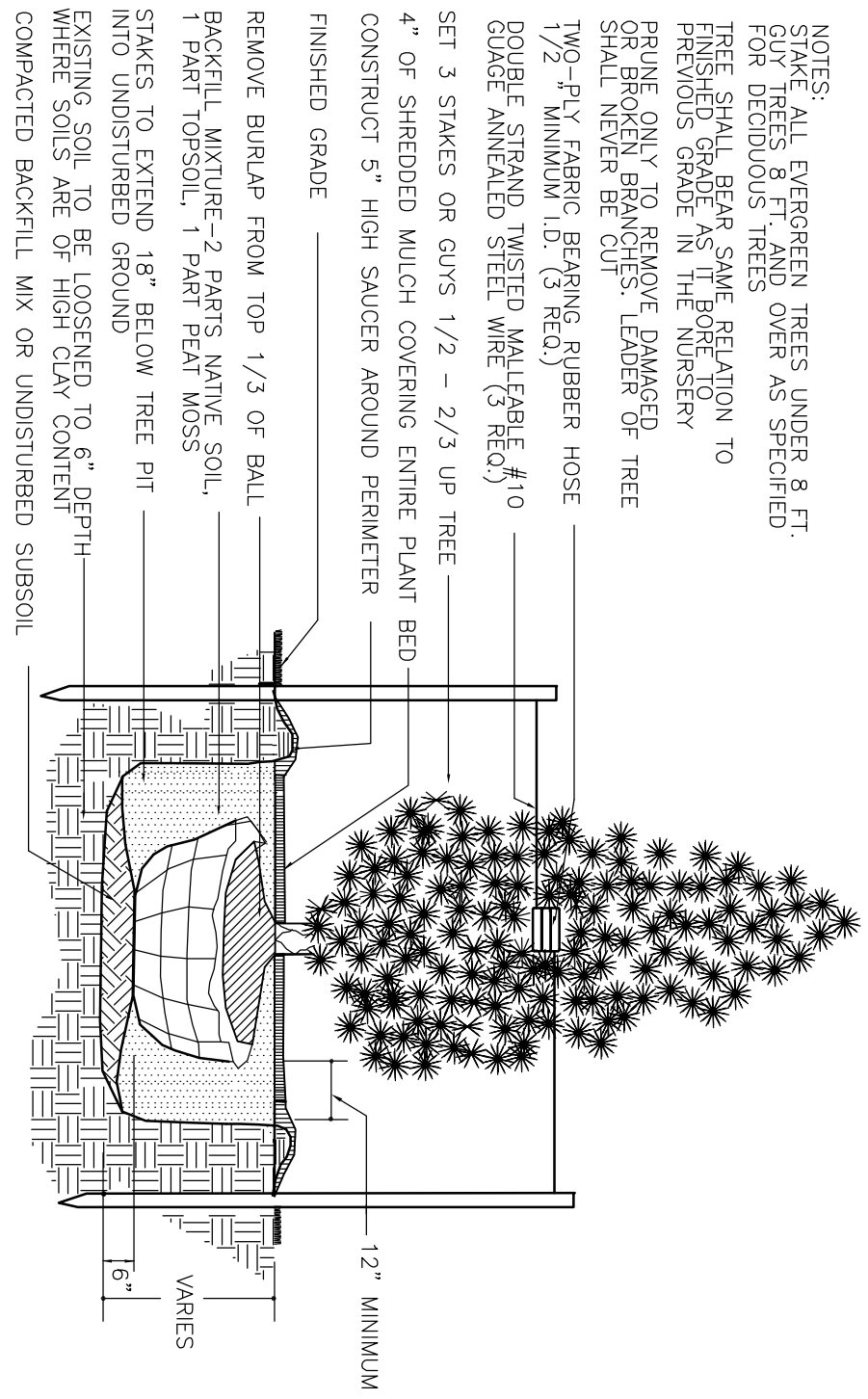
DETAIL
PAVEMENT SECTION
N.T.S.



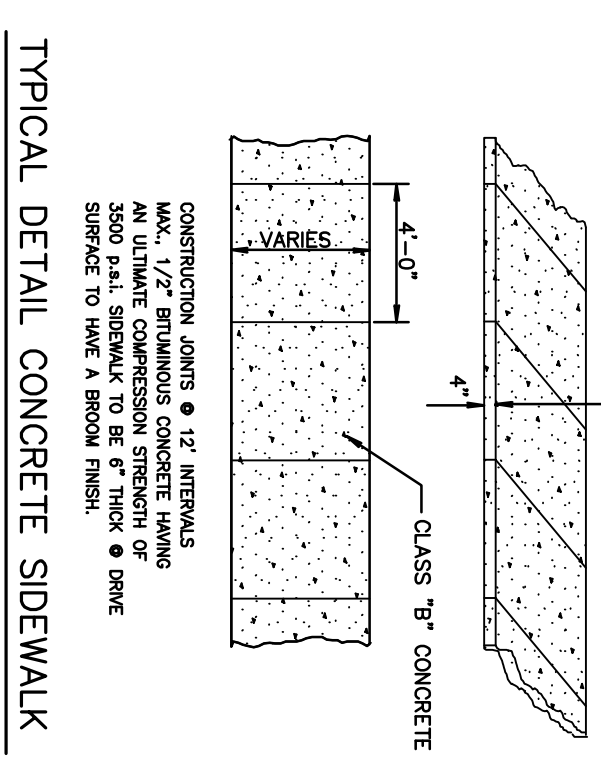
NOTE: CONCRETE APRON SHALL BE EVENLY DIVIDED WITH EXPANSION JOINTS SUCH THAT NO PANEL EXCEEDS 40' IN ANY DIMENSION.
DETAIL:
CONCRETE DRIVEWAY & APRON
N.T.S.



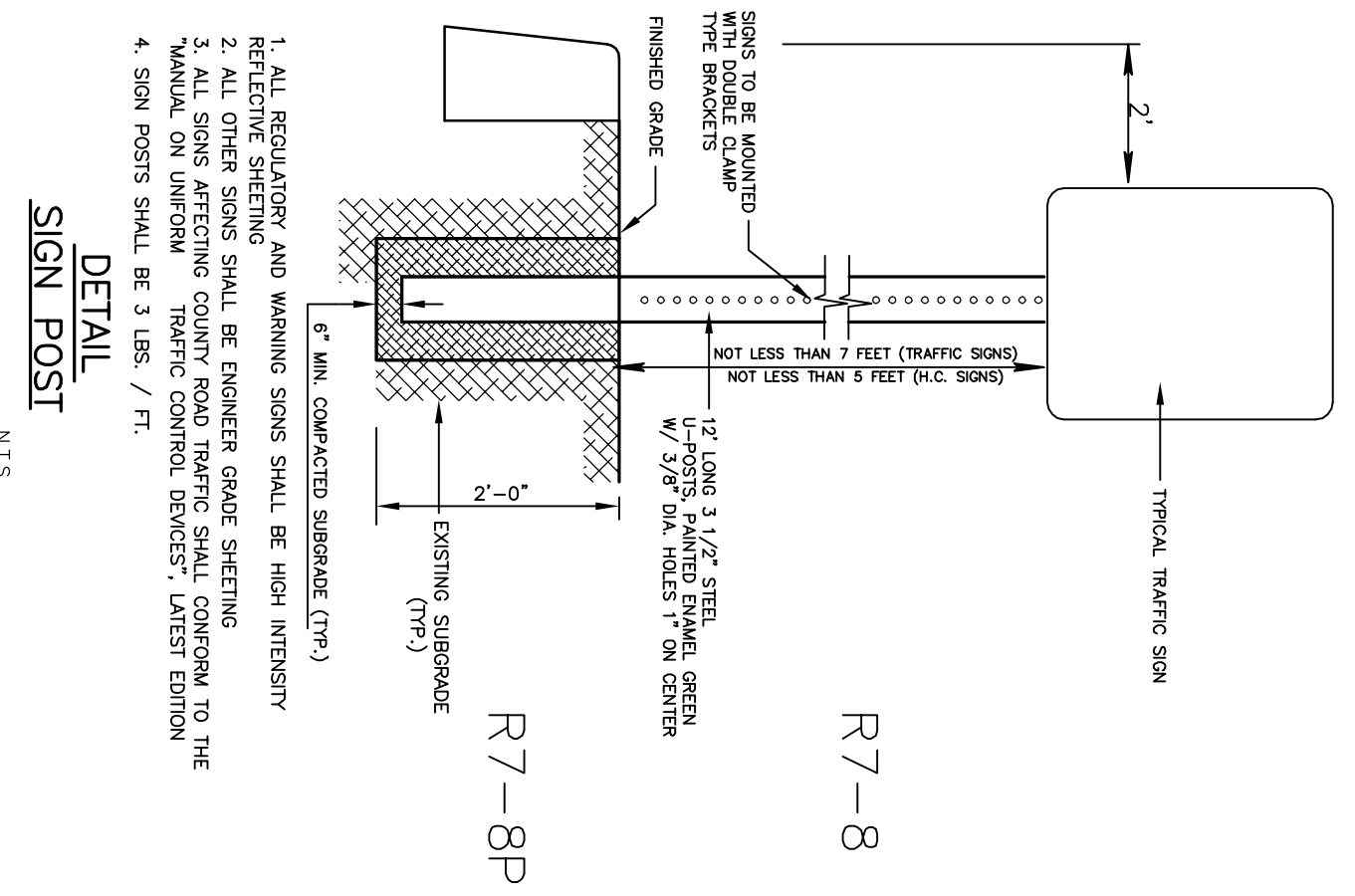
DETAIL:
CONCRETE VERTICAL CURB
N.T.S.



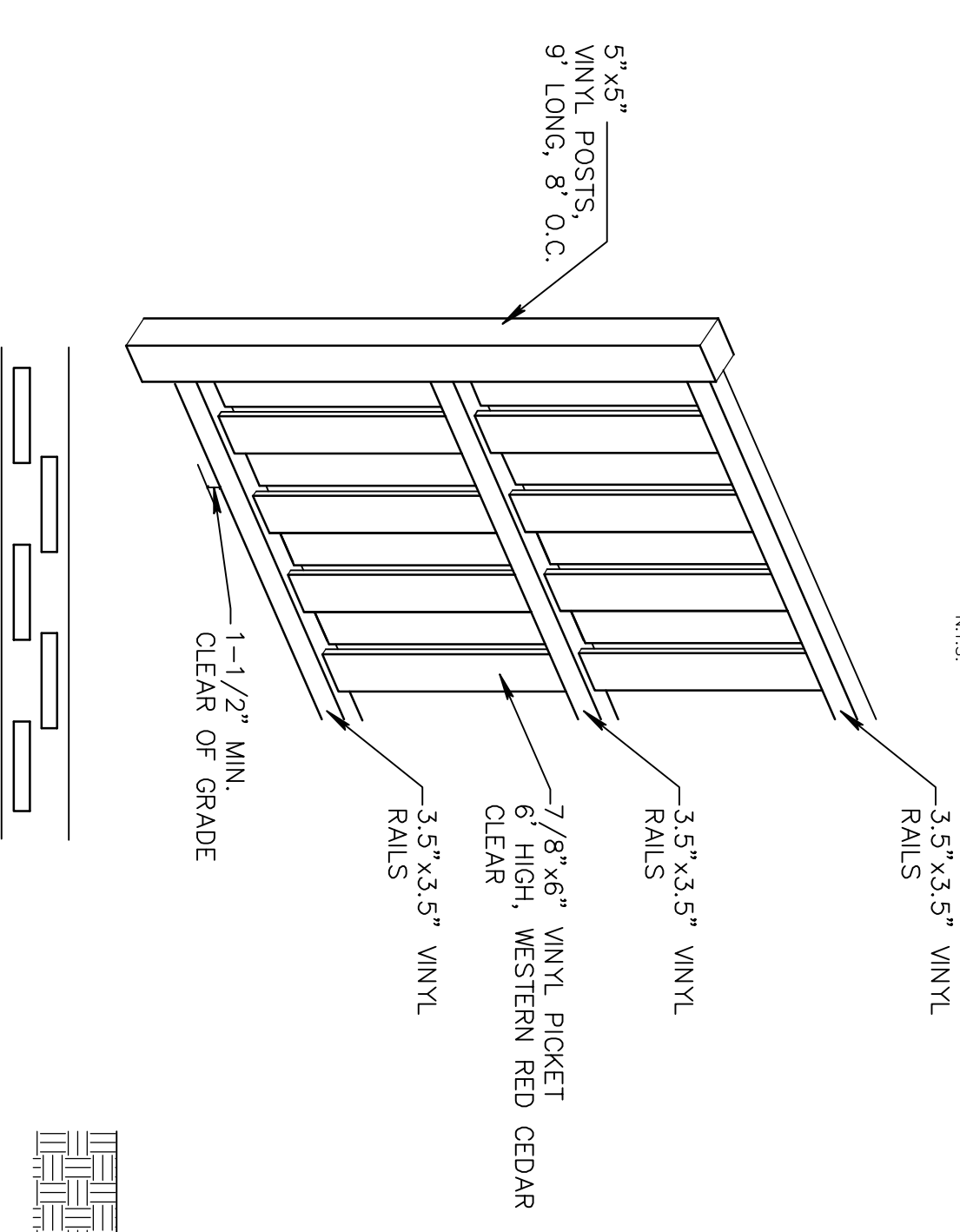
EVERGREEN TREE PLANTING DETAIL
N.T.S.



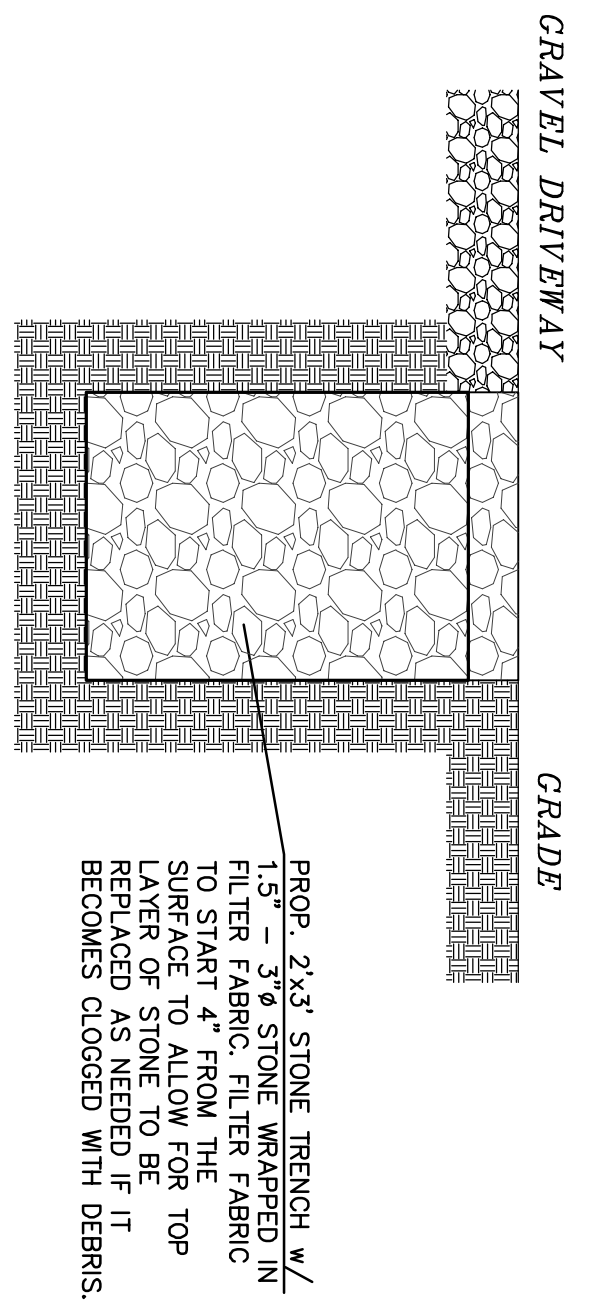
TYPICAL DETAIL: CONCRETE SIDEWALK
N.T.S.



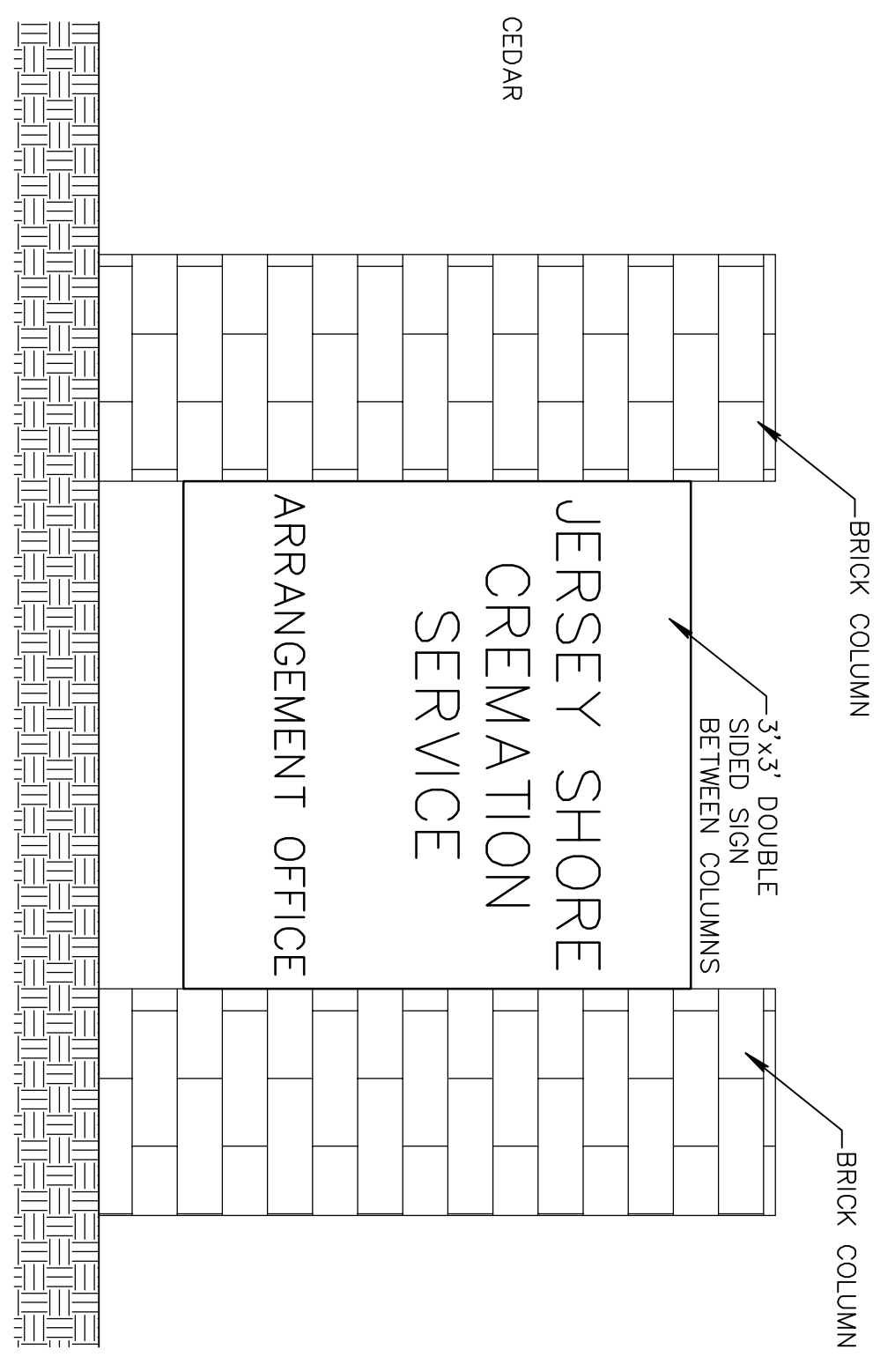
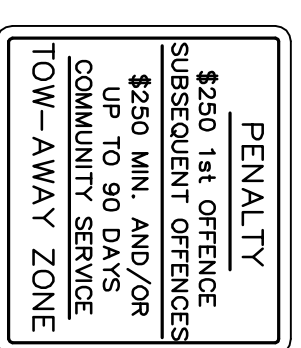
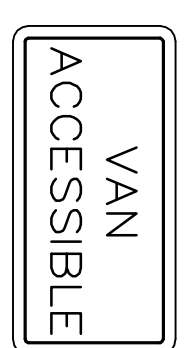
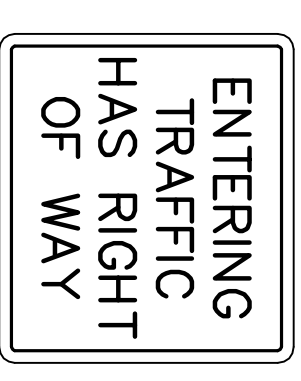
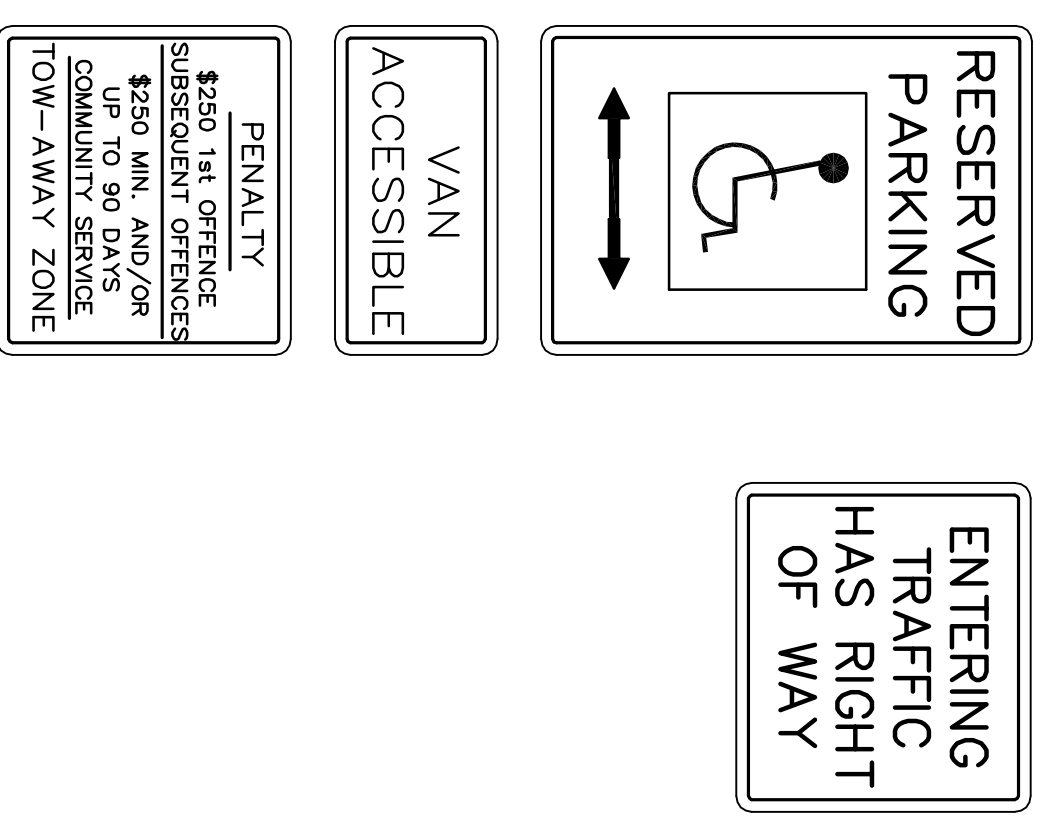
DETAIL
SIGN POST
N.T.S.



DETAIL - VINYL BOARD ON BOARD FENCE
N.T.S.



DETAIL:
PERIMETER STONE TRENCH DRAIN
N.T.S.



DETAIL:
FREESTANDING SIGN
N.T.S.

VASILENKO PRELIMINARY & FINAL SITE PLAN

DETAILS

BLOCK 62 - LOT 13 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J.

R.C. ASSOCIATES Consulting, Inc.

Valley Park Professional Center
2517 Route 35 Building J Suite 102
Monroeville, New Jersey, 08726
Ph. 732-528-0141 • Fax 732-528-1060

RAY CARPENTER P.E.



February 28, 2020

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1140
Use Variance and Site Plan – Vasilenko
Block 62, Lot 13
43 Taylor Avenue
O - Office Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Conceptual Site Plan, Architectural Floor Plans and Elevations prepared by Daniel Lynch, RA, of B.L.D.G. Architecture, LLC, dated September 9, 2019.
2. Site Plan prepared by Ray Carpenter, PE, of R.C. Associates Consulting, Inc., dated January 9, 2020.
3. Stormwater Management Report prepared by Ray Carpenter, PE, of R.C. Associates Consulting, Inc., dated January 29, 2020.

The property is located in the O Office Zone with frontage on Taylor Avenue. With this application, the applicant proposes to modify and construct an addition to the existing two and a half story dwelling to create an office and apartment on the second floor. A detached garage, gravel and paved parking lot and associated site improvements are also proposed. The application is deemed complete as of February 28, 2020.

The following are our comments and recommendations regarding this application:

1. The property is located in the O - Office Zone.
2. The following use ('d') variance is required as part of this application:
 - a. Only one single family residential dwelling per lot is permitted or a professional or business office, whereas a mixed use of office and apartment units is proposed.



Re: Boro File No. MSPB-R1140
Site Plan – Vasilenko
Block 62, Lot 13

February 28, 2020
Sheet 2

3. The following bulk ('c') variances are required as part of this application:
 - a. A maximum accessory building of 600 square feet permitted, whereas a building of 800 square feet is proposed.
 - b. A minimum driveway aisle width of 24 feet is required, whereas an aisle 9.8 feet wide is proposed.
 - c. A minimum side parking lot setback of 1 foot is required, whereas a setback of 0 feet is proposed (north side)
4. The following non-conformities exist on Lot 13 and are not proposed to be modified as part of this application:
 - a. A minimum front yard setback of 25 feet is required, whereas a setback of 16.8 feet exists and is proposed.
5. A minimum of 80 square feet storage space for the proposed apartment is required. The applicant should explain how this requirement will be met in the proposed garage or another area.
6. The continued use of the shared driveway with adjacent Lot 14 should be discussed with the Board. If an easement exists, it should be shown on the plan. Also, the repaving of the driveway will need appropriate milling so as to not change the elevation and affect the adjacent property and driveway.
7. Spot elevations should be shown for the proposed parking area to demonstrate that the grading will not negatively affect adjacent properties and stormwater will flow to the proposed recharge trench.
8. The estimated seasonal high water table should be indicated to demonstrate a two foot separation to the bottom of the recharge trench.
9. The drainage report states that there are drywells to address stormwater runoff from the proposed detached garage. The location of the drywells must be provided on the plans as well as sizing calculations.
10. The applicant should provide an explanation of the following items:
 - Proposed hours of operation of the businesses
 - Anticipated types of deliveries and turn around movements for large vehicles
 - Proposed delivery hours and garbage collection times
 - Proposed hours of operation of the site lighting
11. The proposed method of trash collection should be described as the trash area is located in an area on the far side of the building.



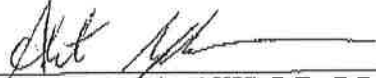
Re: Boro File No. MSPB-R1140
Site Plan – Vasilenko
Block 62, Lot 13

February 28, 2020
Sheet 3

12. The proposed air conditioning units are located on the side of the building but are located outside of the required 5 foot side yard setback.
13. A revised landscaping plan should be submitted as the landscaping plan on the architectural layout does not match the current site plan.
14. The architectural layout for the garage may need to be revised as the doors and windows do not seem to correspond to the current layout. Also, any concrete entry landings for the door or garage door should be shown on the site plan.
15. The applicant should indicate if the removal of the adjacent property's driveway removal has been discussed with the owner of that property as removal may impact turning movements on Lot 12.
16. Any building mounted lighting or parking lot lighting must be shown on the plan. Also, the flag pole and lamppost should be shielded to prevent glare to adjacent properties.
17. Any new utilities must be located underground if possible.
18. It does not appear that any existing trees on the property will be removed as part of the application.
19. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:
 - a. Monmouth County Planning Board
 - b. Freehold Soil Conservation District

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

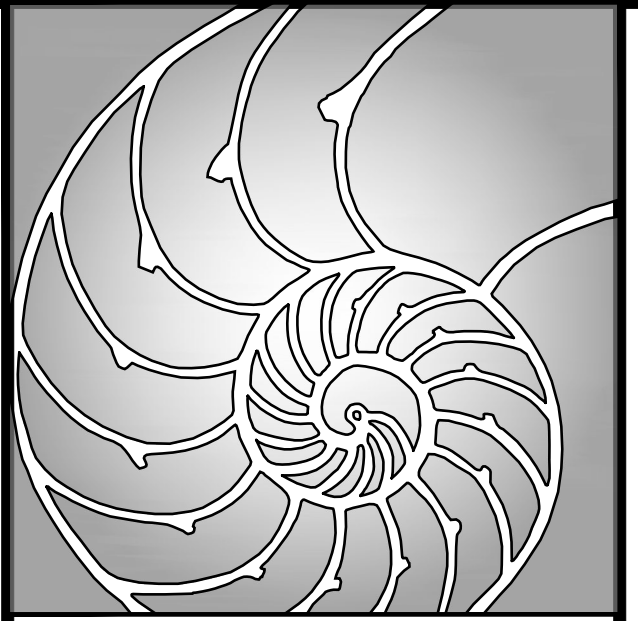
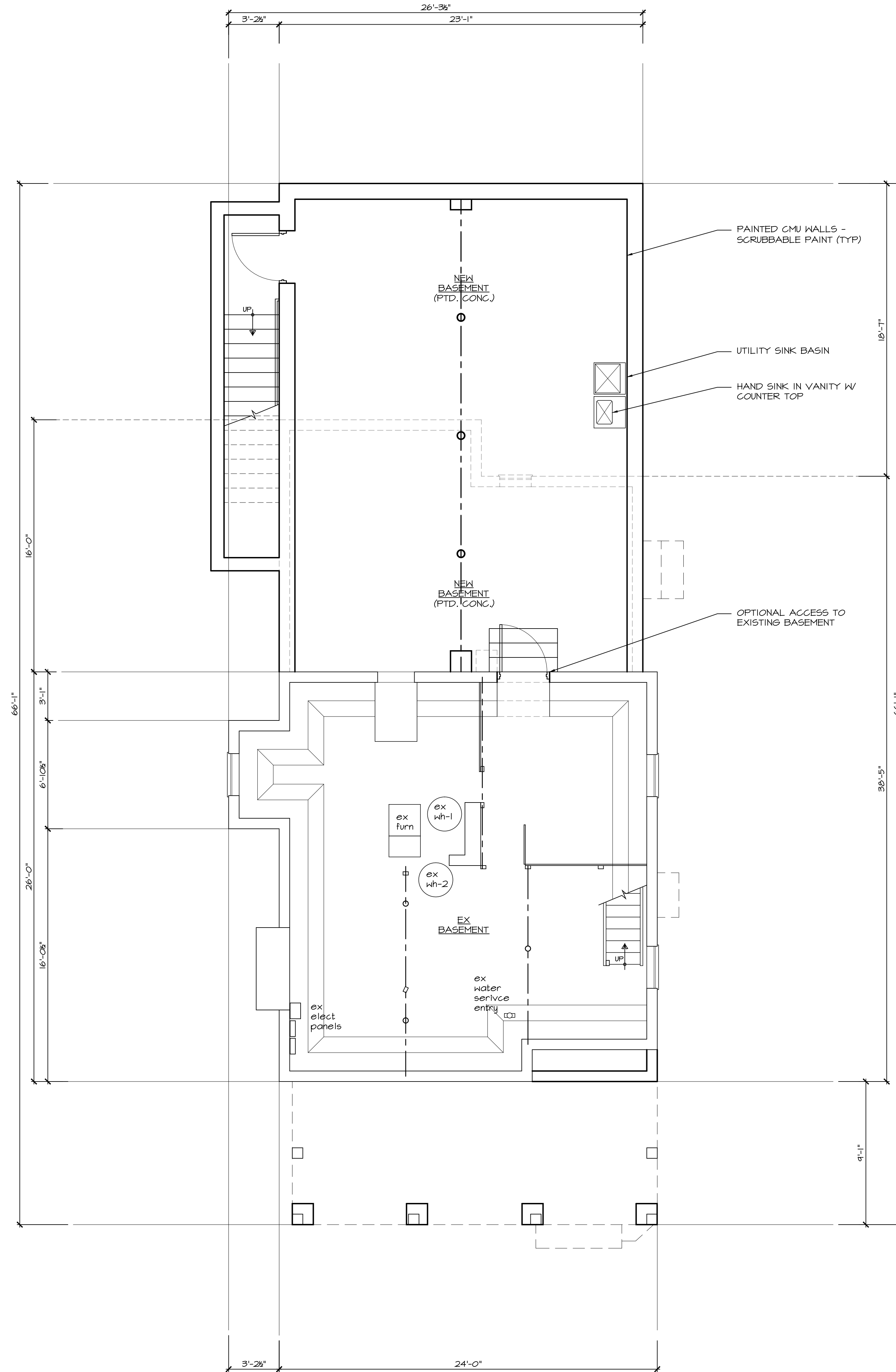
cc: George McGill, esq., Planning Board Attorney
Ray Carpenter, PE
RC Associates, 2517 Route 35, Building J, Suite 102, Manasquan, NJ 08736
Daniel Lynch, RA
B.L.D.G. Architecture, LLC, 617 Union Ave, Bldg 3, Suite 14, Brielle, NJ 08730
David Vasilenko
36 Broad Street, Manasquan, NJ 08736

Do Not Scale The Drawings

The contractor is to field verify all dimensions prior to start of any work or construction.

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FOUNDATION / BASEMENT PLAN
SCALE: 1/4" = 1'-0"



B.L.D.G
Architecture, LLC

611 UNION AVE., BUILDING 3, STE 14
BRIELLE, NEW JERSEY 08130
TEL: 1.732.223.1135
EMAIL: INFO@BLDGLLC.COM
WEB: WWW.BLDGLLC.COM

Daniel Lynch, R.A.
N.J. Architect No. A117862
N.Y. Architect No. 033641-1
N.C.A.R.B. Reg. No. 66227
CERT OF AUTH. No. 21AC00061000

Original Raised Seal

Signature _____ 9.9.19 Date

Project Date August 1, 2019

Revisions	By	Date
client review	DL	9.9.19

Addition and Alterations for

43 Taylor Avenue

Lot: 13 Block: 62
Manasquan

New Jersey

Project

Sheet Title
Foundation / Basement Plan

Scale AS NOTED	Drawn By DL
	Chk'd By DL

Sheet No.

A1.0

2 OF 6

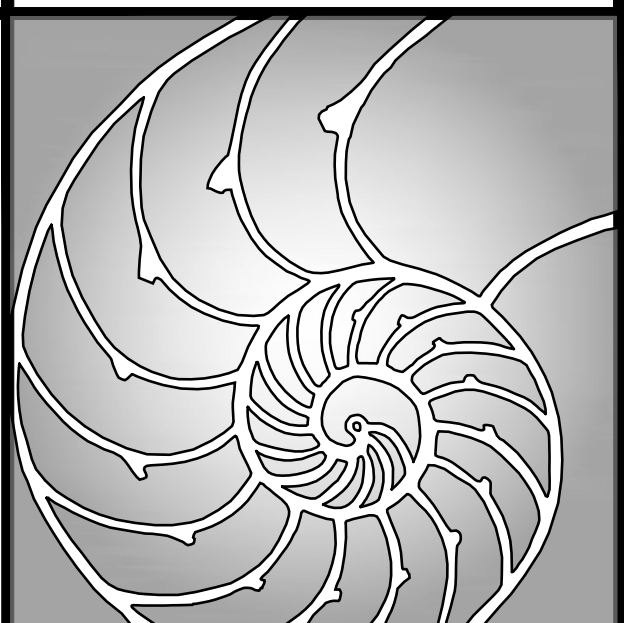
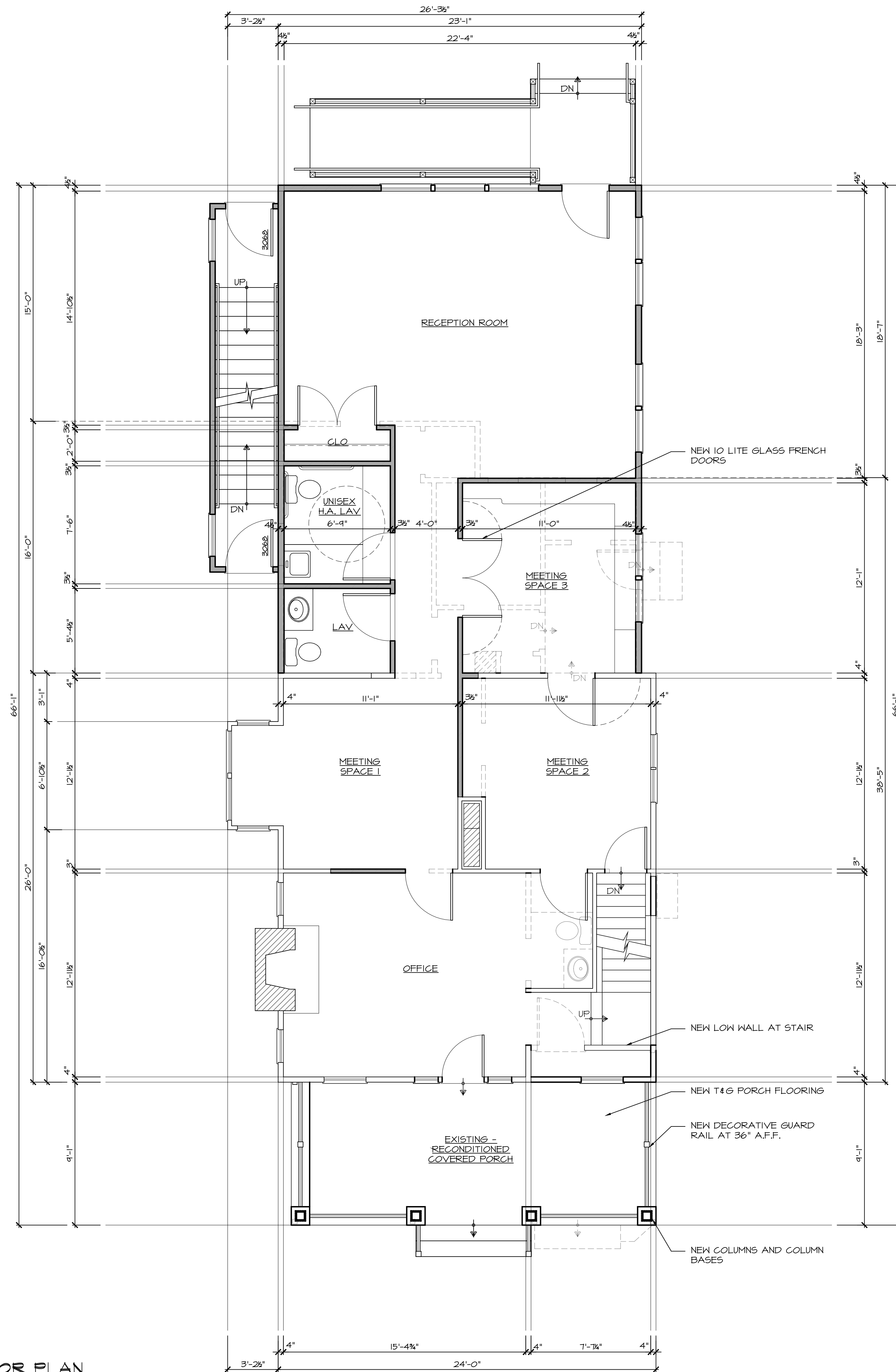
Project No.
19-013

Do Not Scale The Drawings

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FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



B.L.D.G.
Architecture, LLC

611 UNION AVE., BUILDING 3, STE 14
BRIELLE, NEW JERSEY 08130
TEL: 1.732.223.1135
EMAIL: INFO@BLDGLLC.COM
WEB: WWW.BLDGLLC.COM

Daniel Lynch, R.A.
N.J. Architect No. A117862
N.Y. Architect No. 033641-1
NCARB Reg. No. 66227
CERT OF AUTH. No. 21AC00061000

Original Raised Seal

Signature _____ 9.9.19
Date

Project Date August 1, 2019

Revisions	By	Date
client review	DL	9.9.19

Addition and Alterations for

43 Taylor Avenue

Lot: 13 Block: 62

Manasquan

New Jersey

Project

Sheet Title
First Floor Plan

Scale AS NOTED	Drawn By DL
	Chk'd By DL

Sheet No.

A1.1

3 OF 6

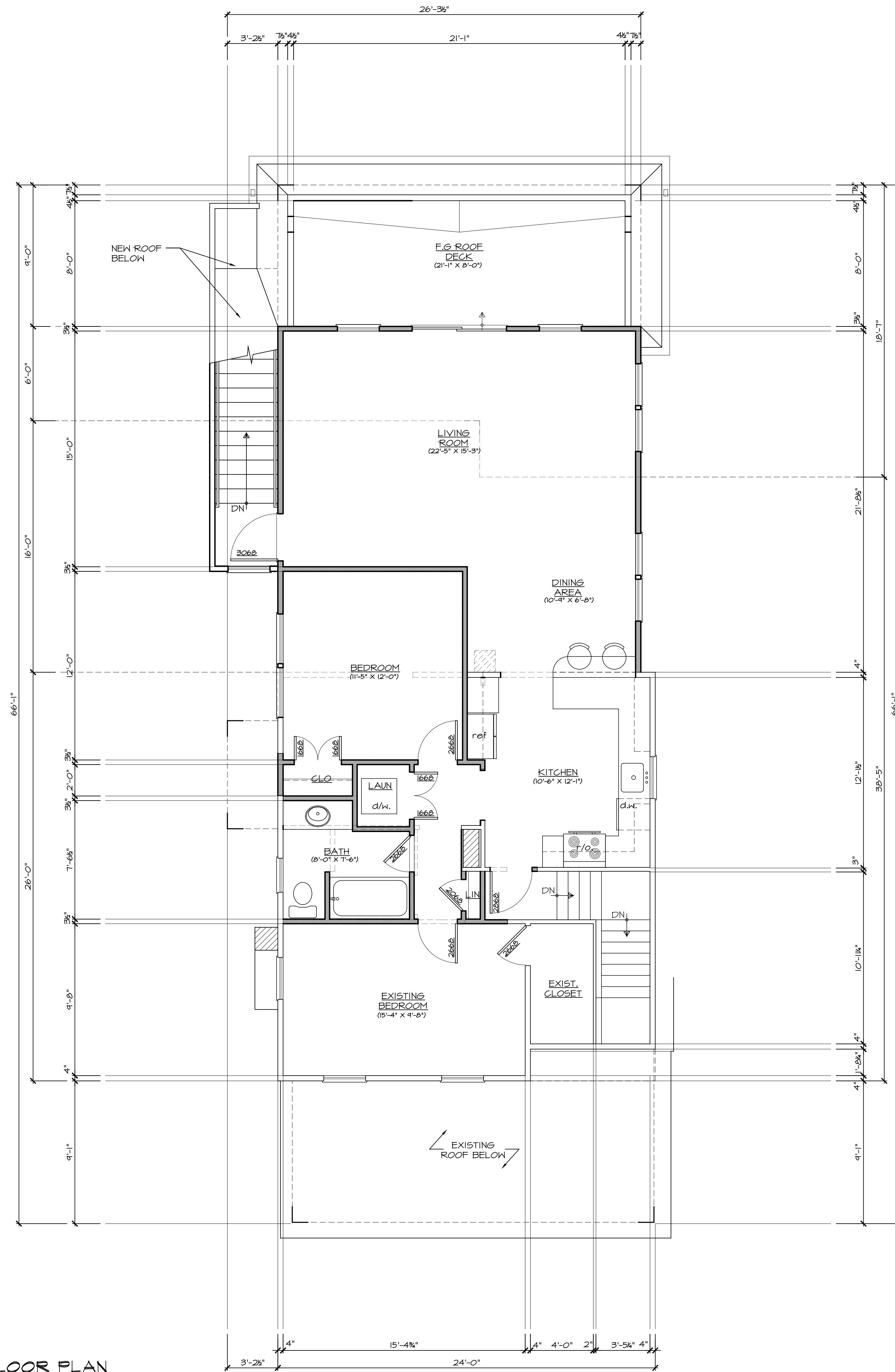
Project No.
19-013

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1 SECOND FLOOR PLAN
A1.2 SCALE: 1/4" = 1'-0"



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Original Raised Seal

Signature _____ 9.9.19 Date

Project Date August 1, 2019

Revisions	By	Date
client review	DL	9.9.19

Addition and Alterations for

43 Taylor Avenue

Lot: 13 Block: 62

Manasquan

New Jersey

Project

Sheet Title
Second Floor Plan

Scale AS NOTED	Drawn By DL
	CHK'd By DL

Sheet No.

A1.2

4 OF 6

Project No.
19-013

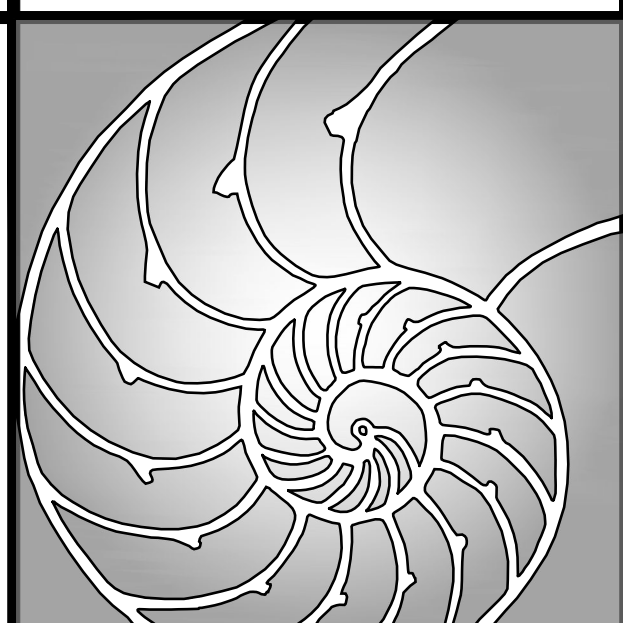
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1 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



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Signature _____ 9.9.19
 Date

Project Date August 1, 2019

Revisions	By	Date
client review	DL	9.9.19

Addition and Alterations for
43 Taylor Avenue
 Lot: 13 Block: 62
 Manasquan
 New Jersey

Project Elevations
 Sheet Title

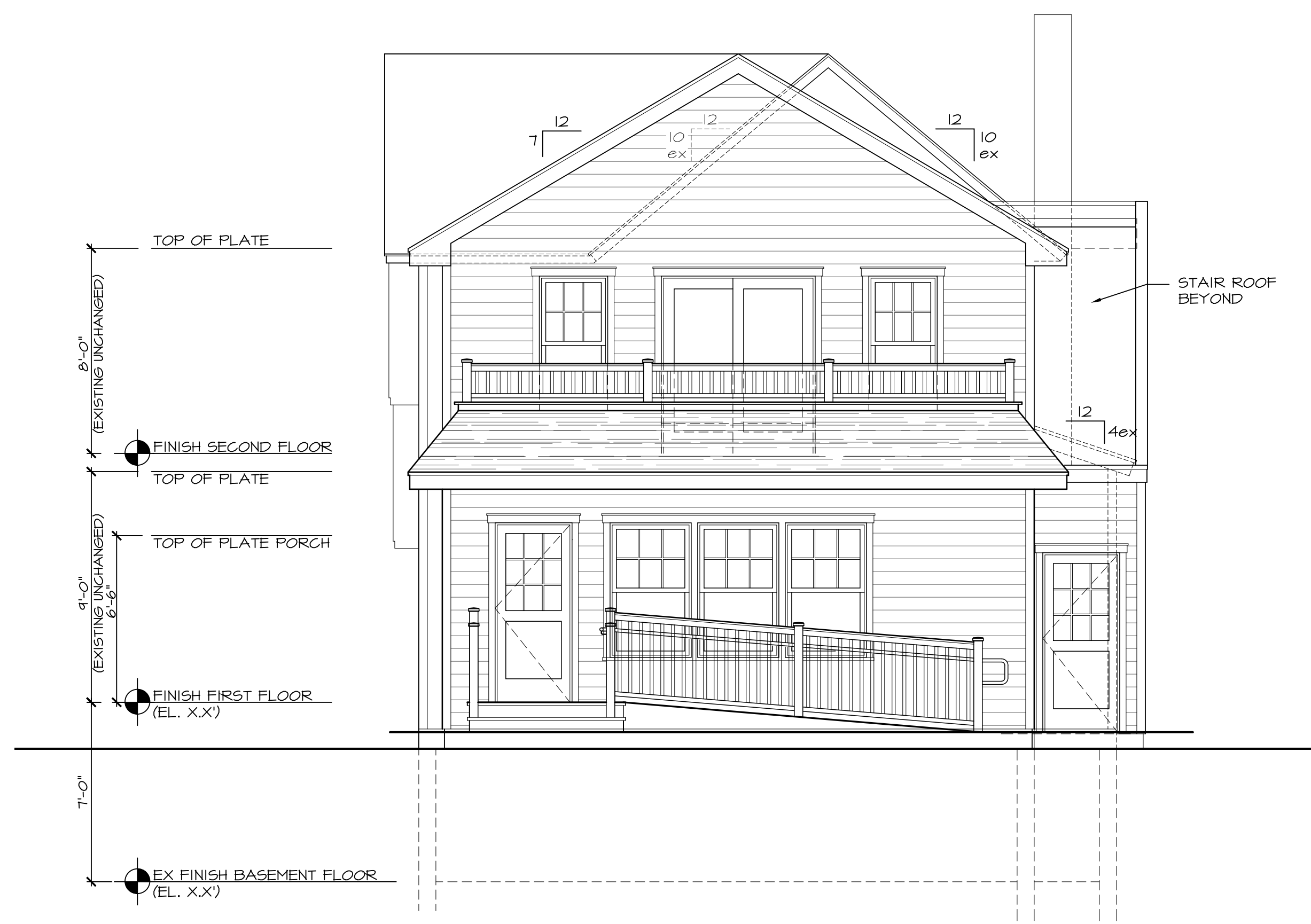
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Sheet No. **A2.0**

5 OF 6

Project No. 19-013

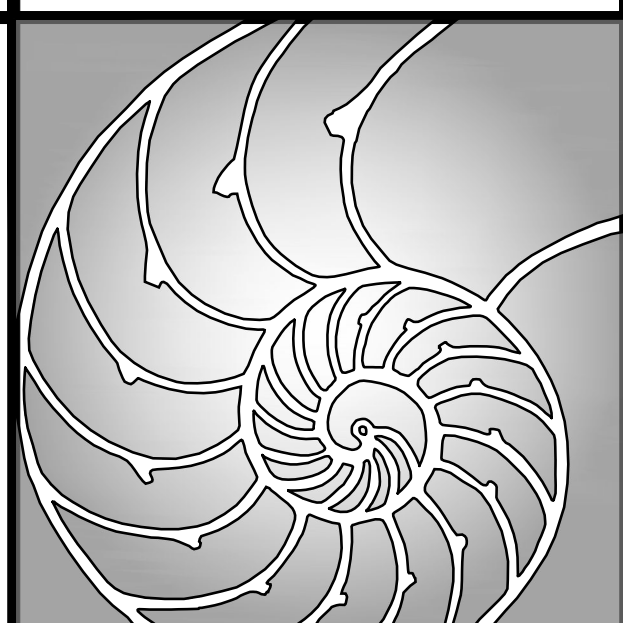
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1 REAR ELEVATION
 SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



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 Date

Project Date
 August 1, 2019

Revisions	By	Date
client review	DL	9.9.19

Addition and Alterations for
43 Taylor Avenue
 Lot: 13 Block: 62
 Manasquan
 New Jersey

Project
 Sheet Title
 Elevations

Scale	AS NOTED	Drawn By	DL
		Chk'd By	DL

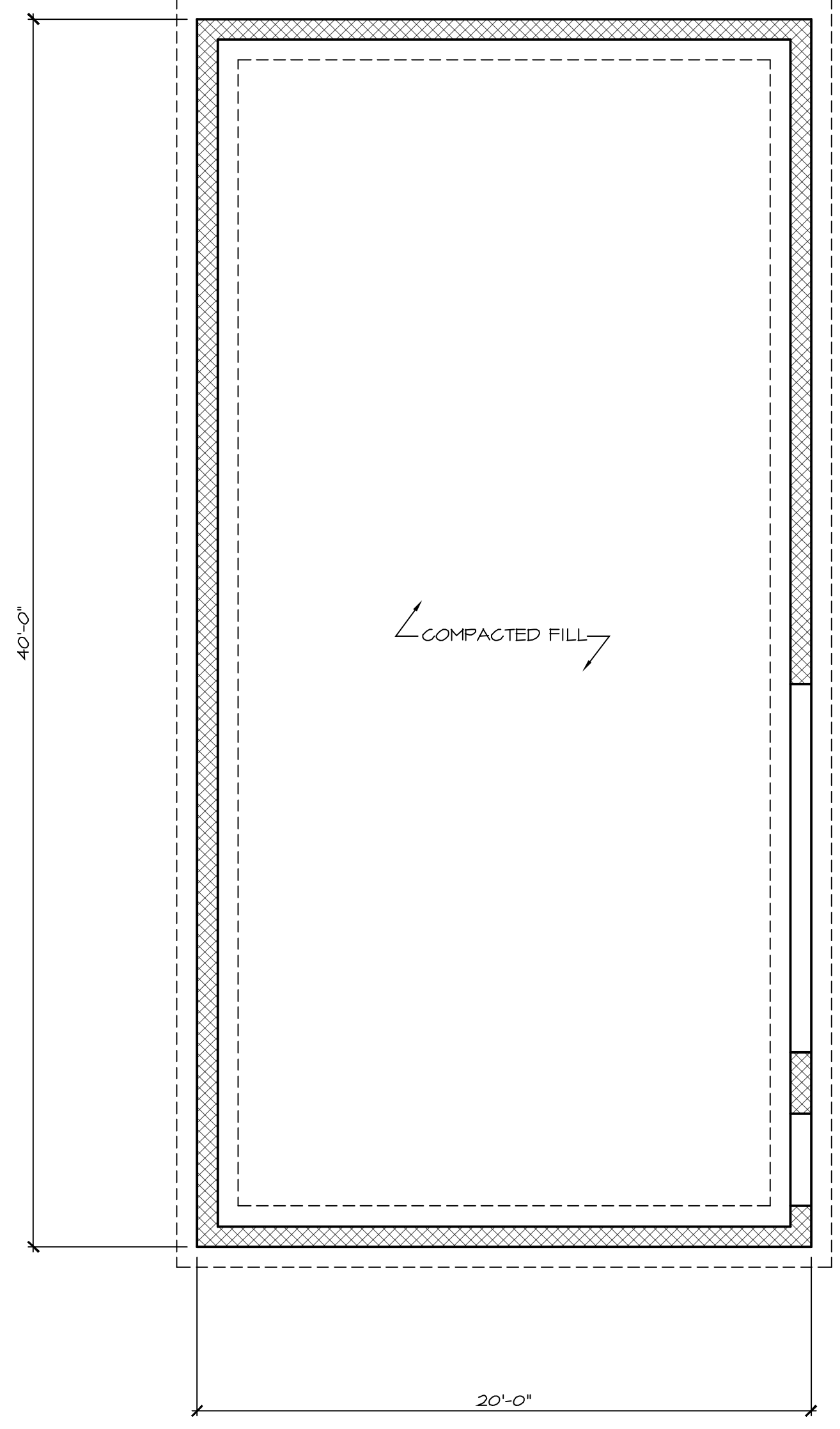
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A2.1
 6 OF 6

Project No.
 19-013

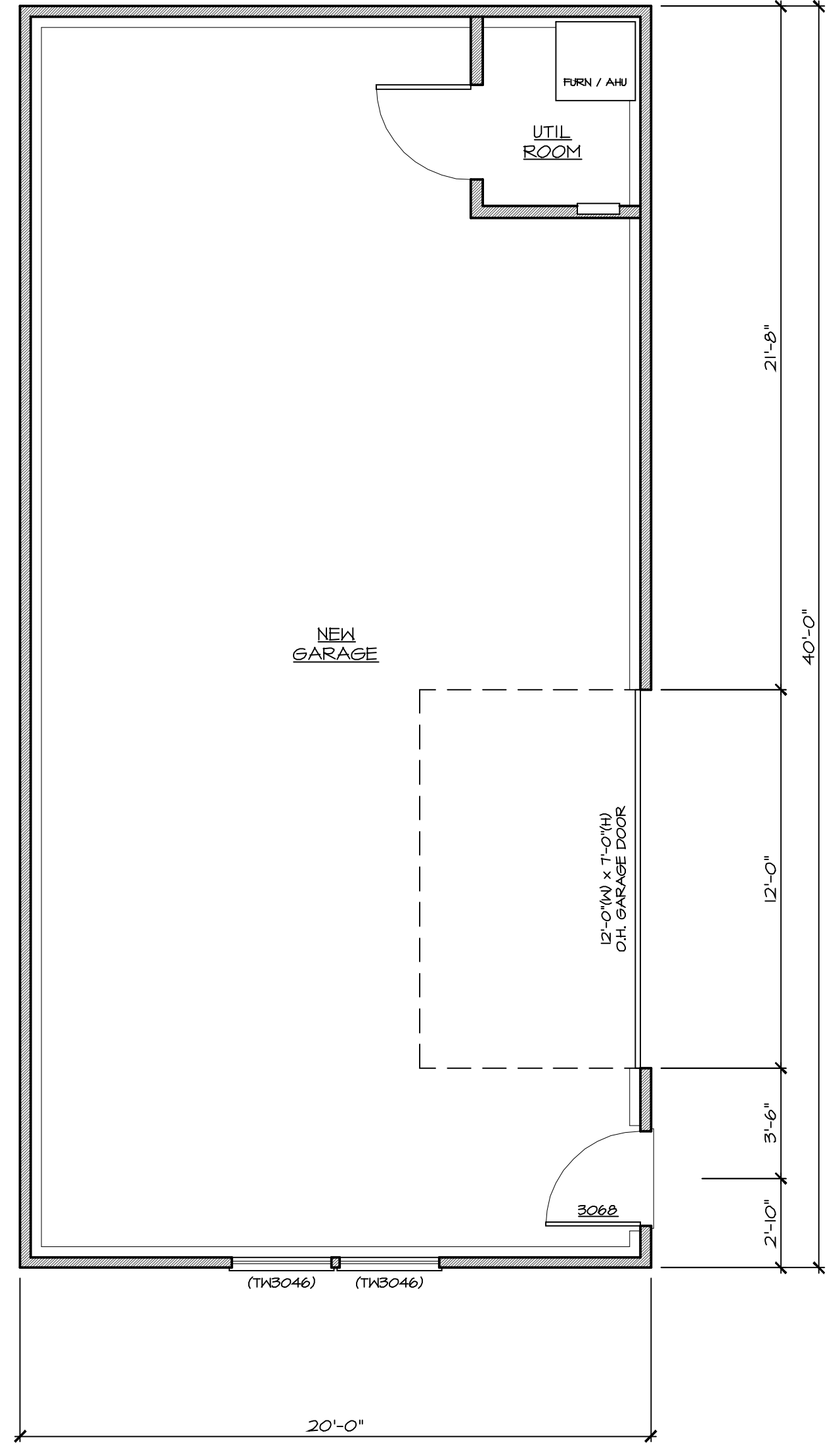
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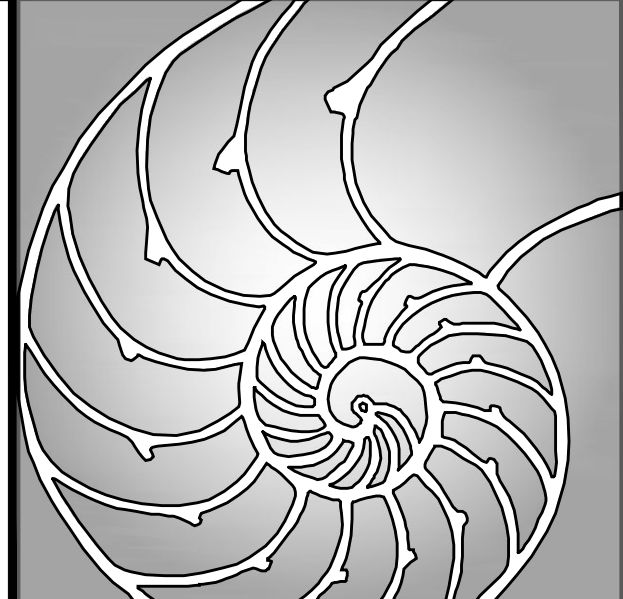
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1 GARAGE FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



2 GARAGE FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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N.Y. Architect No. 033641-1
NCARB Reg. No. 66227
CERT OF AUTH. No. 21AC00061000

Original Raised Seal

Signature _____ 9.9.19 Date

Project Date August 1, 2019

Revisions	By	Date
client review	DL	9.9.19
omit gar apt	DL	11.5.19
zba sets	DL	6.15.20

New Detached Garage for
43 Taylor Avenue
Manasquan
New Jersey
Lot: 13 Block: 62

Project
Sheet Title
Garage Floor Plans

Scale AS NOTED	Drawn By DL
	Chk'd By DL

Sheet No.
G1.0
1 OF 2

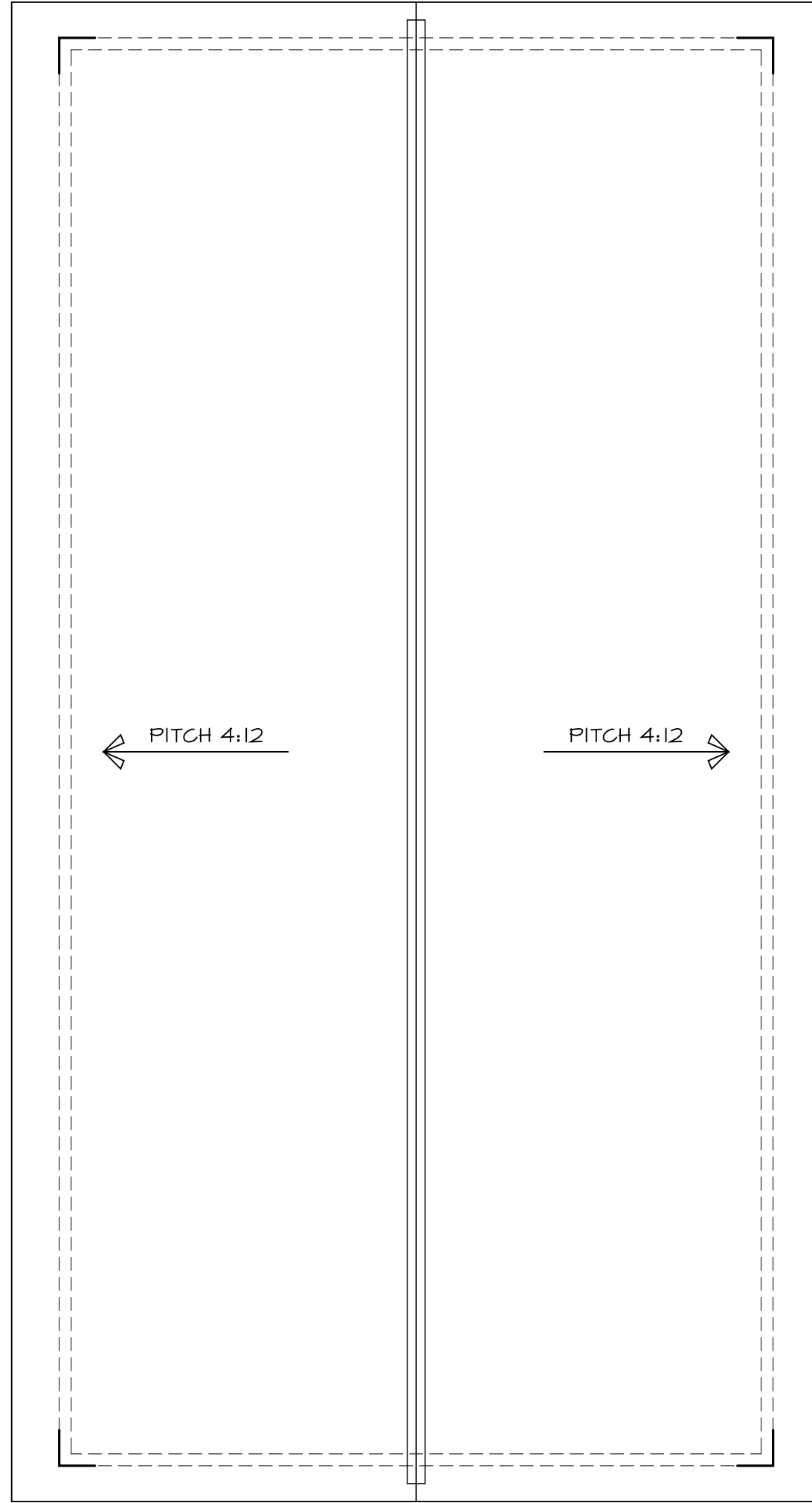
Project No.
19-013

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1 GARAGE ROOF PLAN
G1.1 SCALE: 1/4" = 1'-0"



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CERT OF AUTH. No. 21AC00061000

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Signature _____ Date 9.9.19

Project Date August 1, 2019

Revisions	By	Date
client review	DL	9.9.19
omit gar apt	DL	11.5.19
zba sets	DL	6.15.20

New Detached Garage for

43 Taylor Avenue

Lot: 13 Block: 62

Manasquan

New Jersey

Project

Sheet Title
Garage Floor Plans

Scale	Drawn By
AS NOTED	DL
	CHK'd By
	DL

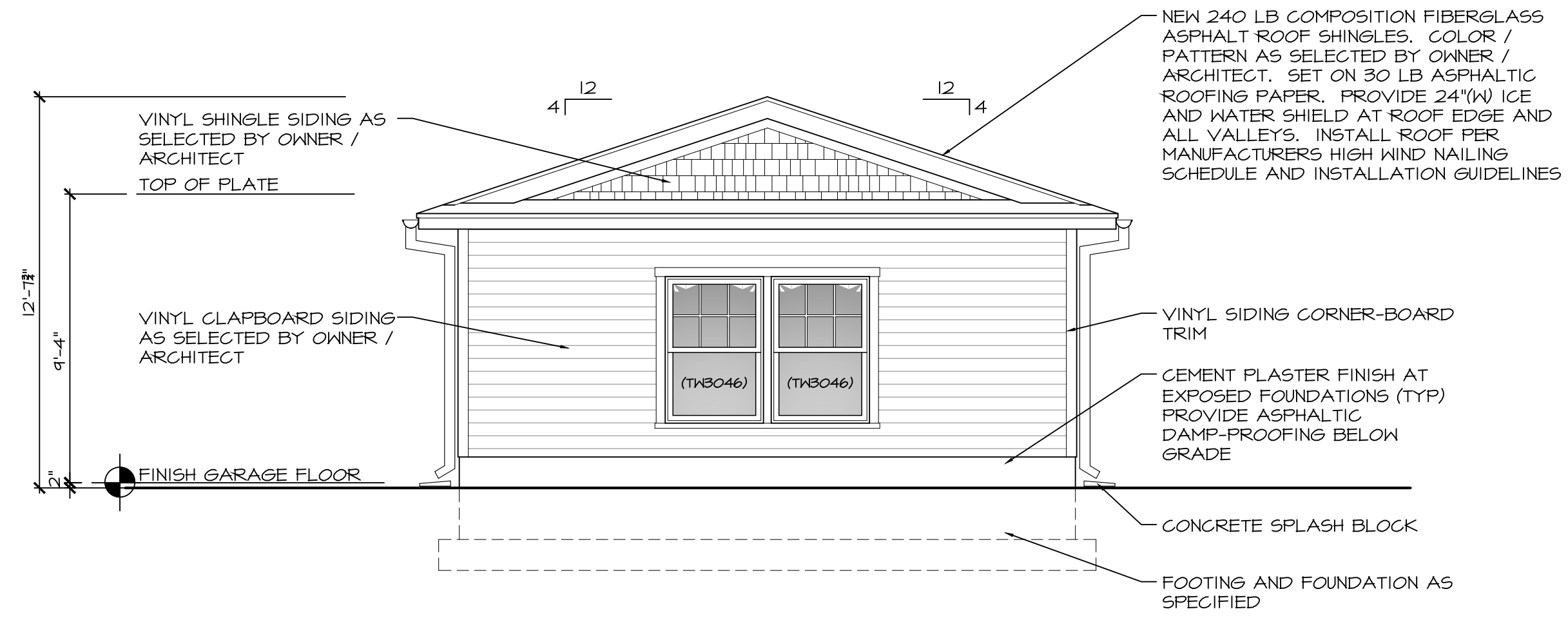
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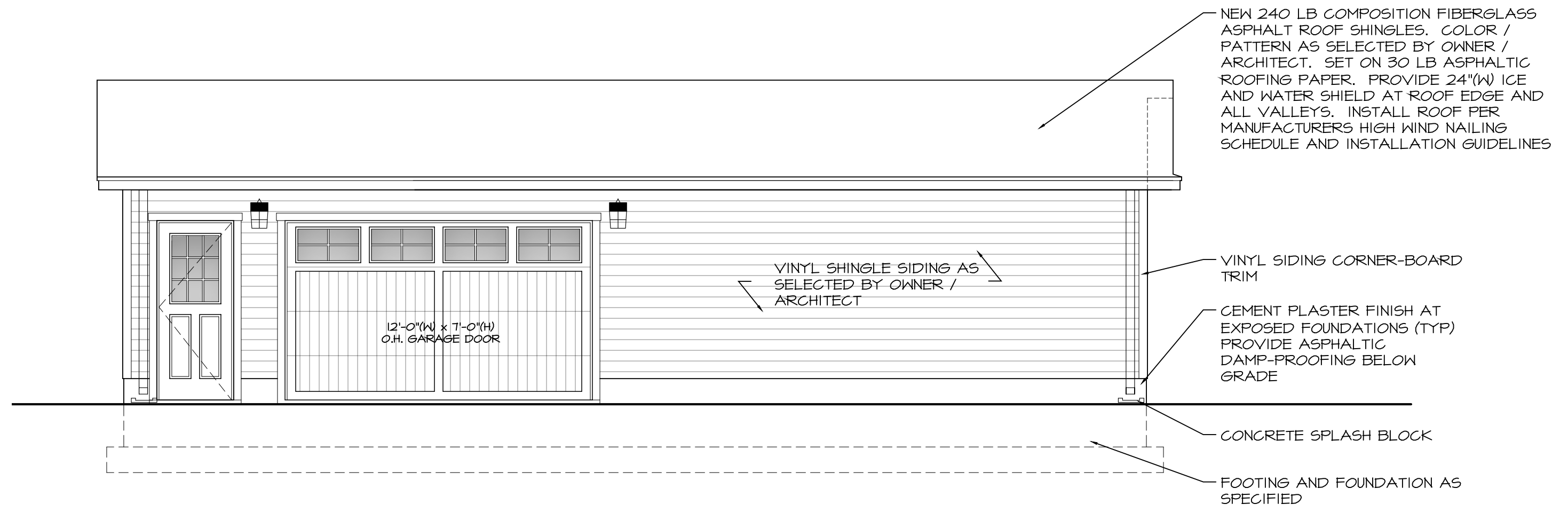
2 OF 2

Project No. 19-013

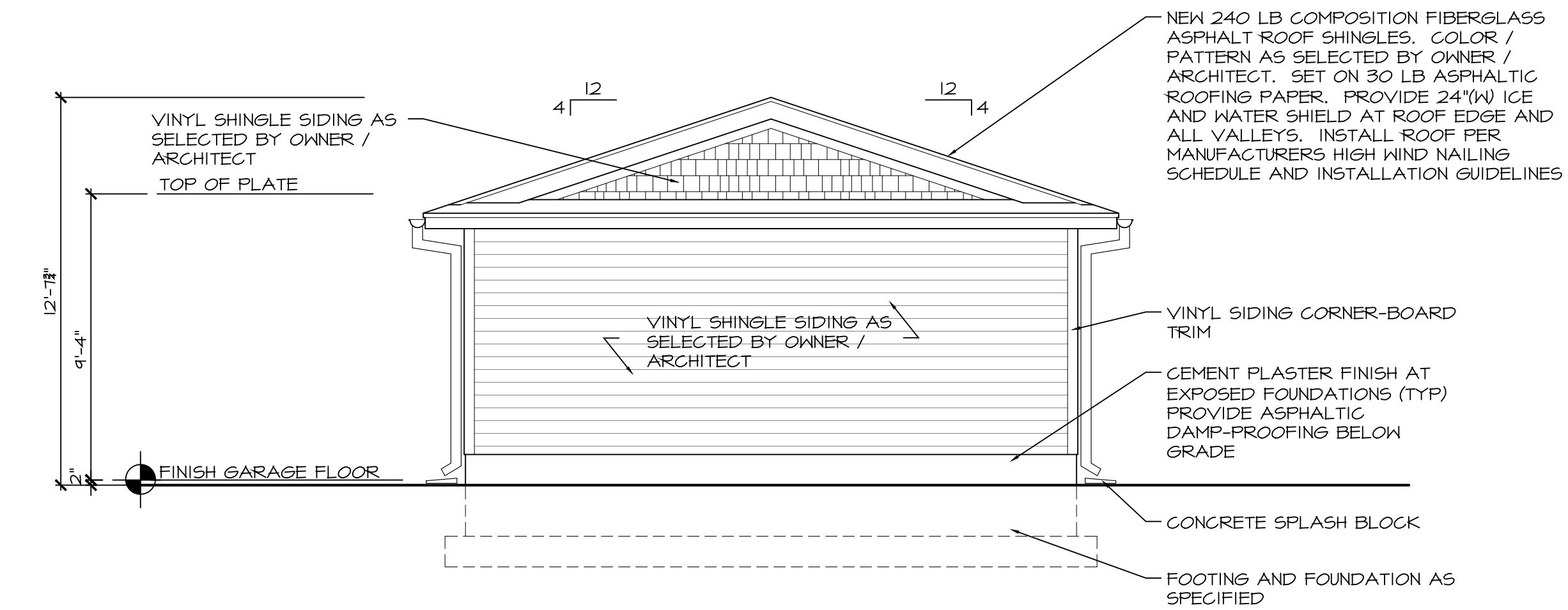
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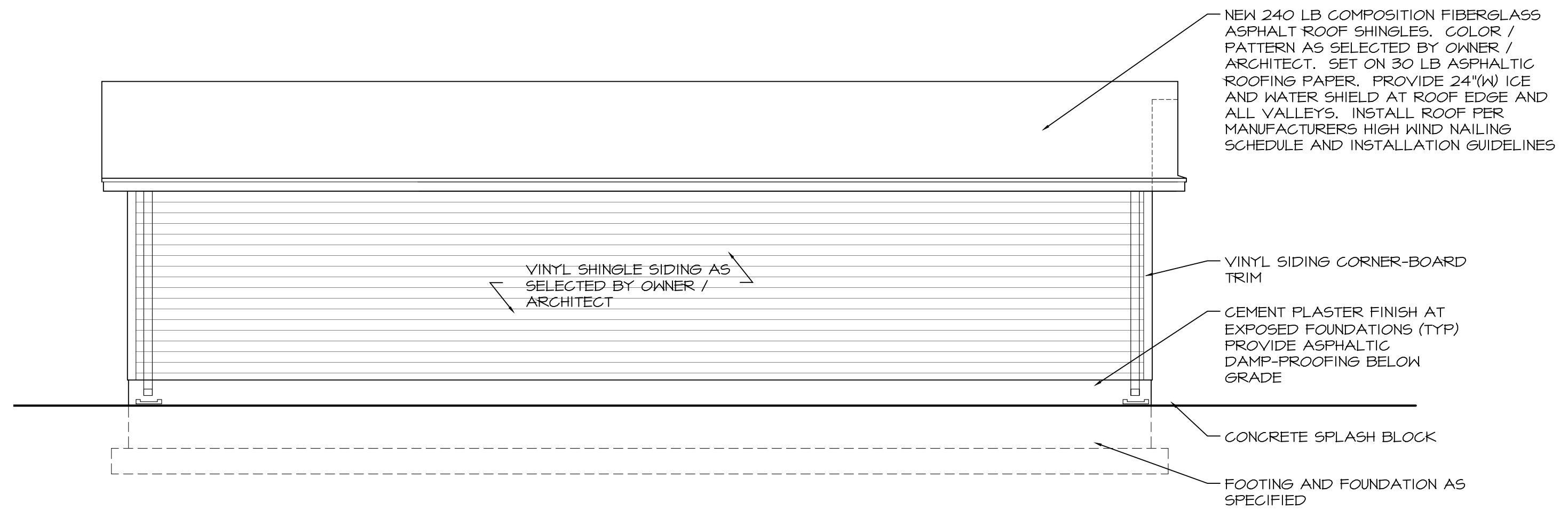
1 FRONT ELEVATION
 62.0 SCALE: 1/4" = 1'-0"



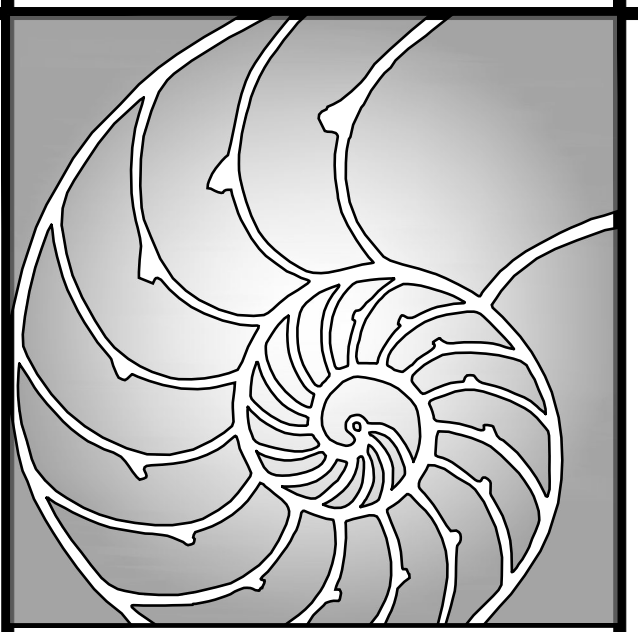
4 RIGHT SIDE ELEVATION
 62.0 SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
 62.0 SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
 62.0 SCALE: 1/4" = 1'-0"



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New Detached Garage for

43 Taylor Avenue

New Jersey

Lot: 13 Block: 62
 Manasquan

Project

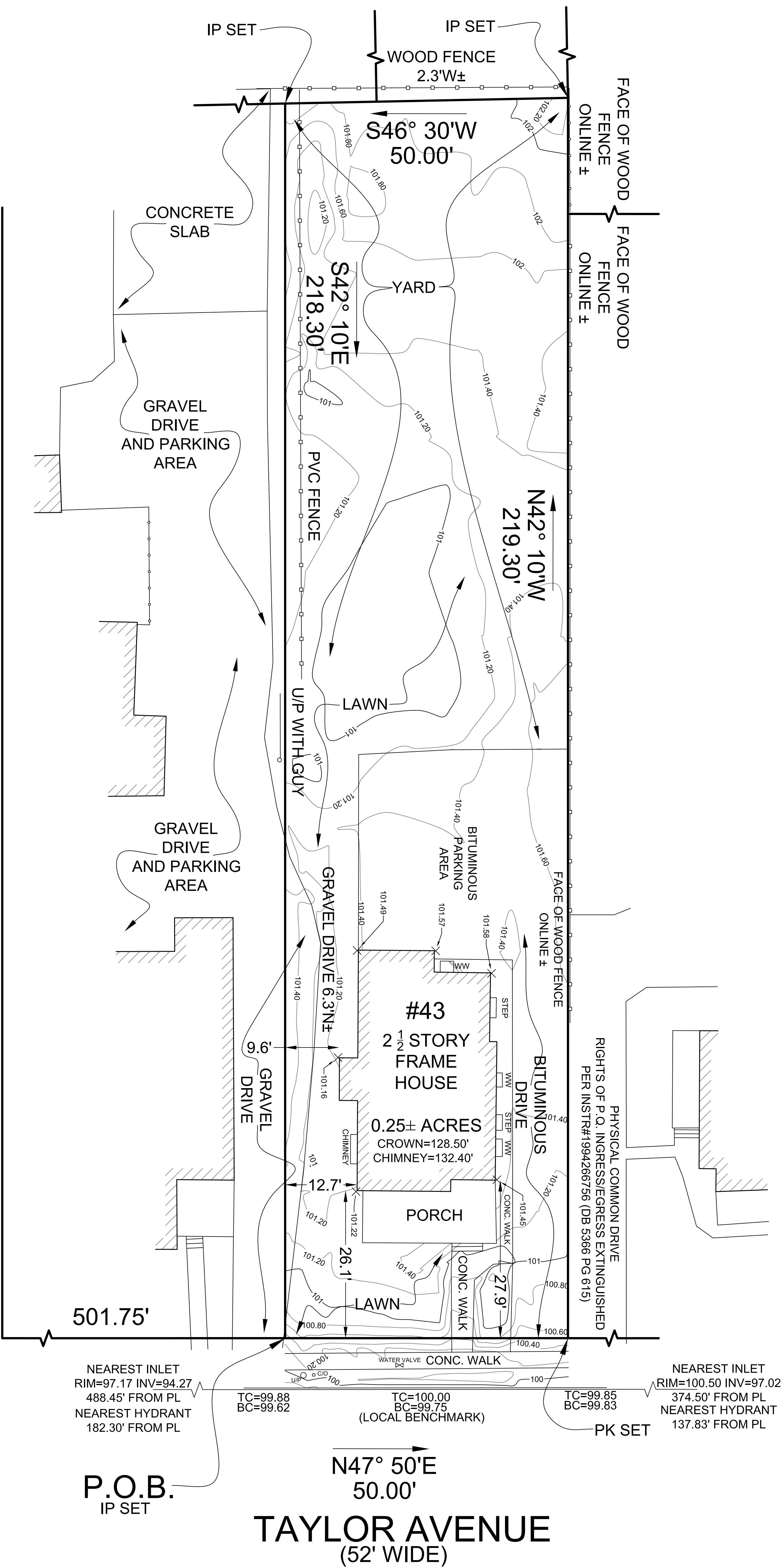
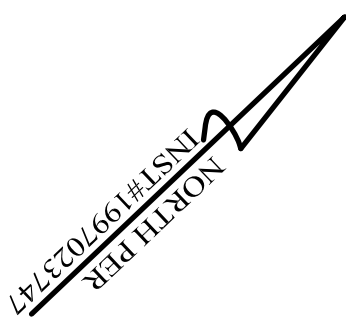
Sheet Title
 Garage Elevations

Scale	Drawn By
AS NOTED	DL
	CHK'd By
	DL

Sheet No.
G2.0

2 OF 2

Project No.
 19-013



PLAN VIEW

MAIN STREET (WIDTH VARIES)

TAYLOR AVENUE (52' WIDE)

SITEVARY DESCRIPTION:
 THIS PLAN REPRESENTS THE LAYOUT OF LAND, STRAIGHT, CURVE AND BEND IN THE BOROUGH OF MANASSAS, COUNTY OF MONTGOMERY, STATE OF NEW JERSEY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT IN THE NORTHWESTERLY LINE OF TAYLOR AVENUE, SAID POINT BEING DISTANT 501.75 FEET NORTHWESTERLY FROM THE INTERSECTION OF THE NORTHWESTERLY LINE OF TAYLOR AVENUE WITH THE NORTHWESTERLY LINE OF MAIN STREET AND FROM SAID POINT RUNNING THENCE:
 1. NORTH 42 DEGREES 50 MINUTES EAST ALONG THE NORTHWESTERLY LINE OF TAYLOR AVENUE, A DISTANCE OF 50.00 FEET; THENCE;
 2. SOUTH 46 DEGREES 30 MINUTES WEST, A DISTANCE OF 50.00 FEET;
 3. SOUTH 42 DEGREES 10 MINUTES EAST, A DISTANCE OF 218.30 FEET TO A POINT IN THE NORTHWESTERLY LINE OF TAYLOR AVENUE; BEING THE CORNER AND POINT OF BEGINNING.

NOTES:
 1. THE REPRESENTATION IS MADE ONLY TO INDICATE THE LOCATION OF VARIANCE DETERMINED PROPERTY BY MAJOR PRODUCE. THE PROPERTY IS NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER ACTION.
 2. THE SURVEY DESCRIPTION IS SUBJECT TO THE BUREAU OF LAND SURVEYING, COUNTY OF MONTGOMERY, NEW JERSEY, RECORD BOOK 2018, PG. 123.
 3. THE SURVEY DESCRIPTION IS SUBJECT TO THE BUREAU OF LAND SURVEYING, COUNTY OF MONTGOMERY, NEW JERSEY, RECORD BOOK 2018, PG. 123.
 4. THE SURVEY DESCRIPTION IS SUBJECT TO THE BUREAU OF LAND SURVEYING, COUNTY OF MONTGOMERY, NEW JERSEY, RECORD BOOK 2018, PG. 123.
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 20. THE SURVEY DESCRIPTION IS SUBJECT TO THE BUREAU OF LAND SURVEYING, COUNTY OF MONTGOMERY, NEW JERSEY, RECORD BOOK 2018, PG. 123.

EXISTING CONDITIONS MAP FOR APPLICATION OF VARIANCE (INCLUDING EXISTING GRADING)
 BY DAVID J. VASILENKO AND GAIL B. VASILENKO, HUSBAND AND WIFE

DAVID J. VASILENKO AND GAIL B. VASILENKO, HUSBAND AND WIFE

PROFESSIONAL ENGINEERS & LAND SURVEYORS

MANASSAS, NEW JERSEY

PHONE: (201) 656-0755

PRELIMINARY

SHEET 1 OF 1

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK DiROMA
Supervisor of Code Enforcement

ALBERT "SANDY" RATZ
Construction Official

APPLICATION TO THE PLANNING BOARD

Applicant's Name DAVID & GAIL VASILENKO
Applicant's Address 43 TAYLOR AVE
Telephone Number 732-859-2361 - 732-493-4422
(Home and Cell)
Property Location 43 TAYLOR AVE.
Block: 62 Lot 13

Type of Application USE AND BULK
Bulk Variance, Non-Permitted Use - Conditional Use - Subdivision - Minor
Subdivision - Major - Site Plan Approval

Date of Zoning Officer's Denial Letter 9-25-19
Zoning Permit Application Attached

Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

Is the Applicant the Landowner? YES
Does the Applicant own any adjoining land? NO
Are the property Taxes paid to date? YES
Have there been any previous applications to the Planning Board concerning this property? NO
(Attach copies)

Have there been any previous applications to the Planning Board. If there were please attach copies.

Are there any Deed Restrictions, easements, or covenants affecting this property and if so please attach NO

The applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Signature of Applicant or Agent David Vasquez
Date _____

BOROUGH OF MANASQUAN PLANNING BOARD

TO: PROPERTY OWNER

PLEASE TAKE NOTICE that on the 3rd day of December, 2019, at 7:00 p.m., a hearing will be held before the Manasquan Borough Planning Board at the Municipal Building, 201 East Main Street, Manasquan, New Jersey on the appeal or application of the undersigned for approval of Bulk and Use Variances and all other relief for property located in the **O Zone (Office Zone)** and known as 43 Taylor Avenue, Manasquan, New Jersey also known as Block :62 Lot: 13 on the Borough Tax Map as to permit the applicant to convert the existing two family dwelling into an office use on the first floor and a residential use on the second floor, construct a two story rear edition, detached garage in the rear yard and other interior alterations and renovations.

The Applicant requests relief from the Zoning Ordinances of the Borough of Manasquan including the following: **Section 35-5.12- Office Zone** - Permitted use - Office use or single family dwelling. Office use on the first floor and single family dwelling on the second floor proposed; **Section 35-9.4 - Front Setback**-25 ft. required, 16.67 ft. Existing & proposed; **Section 35-5.2b3 - Accessory Building** (garage) - Building coverage - 600s.f. Permitted - 800s.f. Proposed; Section 35-13.4 - Off street parking spaces - Residential = 2 Spaces Office (1,400s.f) = 5 Spaces total 7 Spaces required, 6 Spaces Proposed; **Section 35-13.3 - Parking Area** - Rear setback - 15 ft. from residential zone 6.5ft. Proposed; **Section 35-13.2 - Aisle Width** - 24ft. Required, 10ft. Existing; **Section 35-7.73** - Requires that the driveway must be setback a minimum of 1 ft. from side property line.

Applicant seeks any and all other variances or waivers which the Board may deem necessary in connection with the processing and approval of the application. All documents relating to this application may be inspected by the public between the hours of 9:00 a.m. and 4:00 p.m. in the office of the Secretary of the Planning Board Municipal Building, 201 East Main Street, Manasquan, New Jersey.

Any interested party may appear at said hearing and participate therein in accordance with the rules of the Planning Board.

DAVID VASILENKO
GAIL VASILENKO
Applicants

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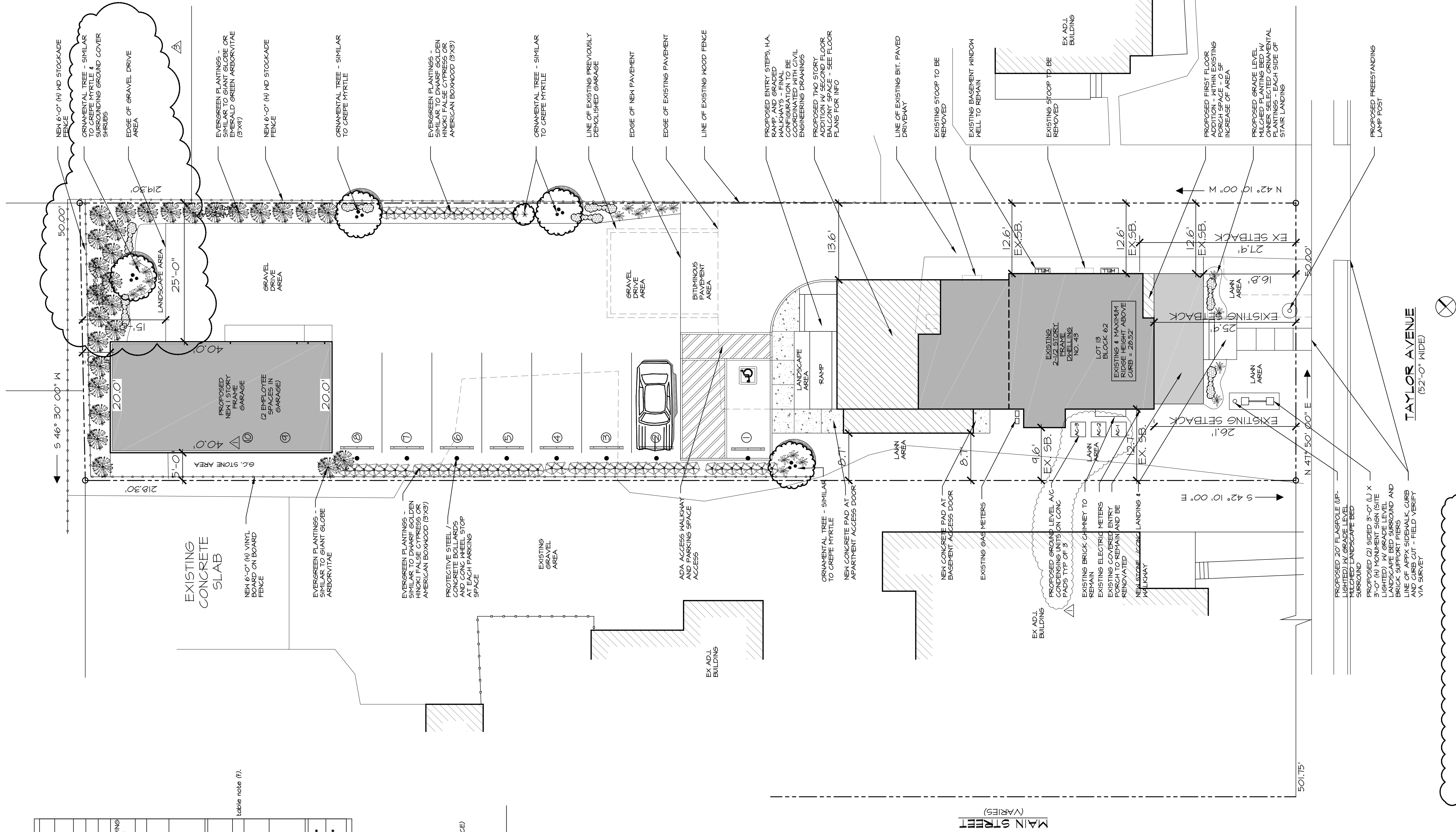
ZONING SCHEDULE	REQUIRED BY CODE	EXISTING	PROPOSED	ZONE 10 MANASSAAN	STATUS
MIN. LOT AREA	5000 SF	10494.41 SF EXISTING	NO CHANGE	NO CHANGE	CONFORMING
MIN. LOT FRONTAGE	50'-0"	50'-0" EXISTING	NO CHANGE	NO CHANGE	CONFORMING
MIN FRONT SETBACK	25'-0"	26.9' BUILDING 16.6' COV PORCH	NO CHANGE	NO CHANGE	CONF - BUILDING EX NON CONF - PORCH
MIN REAR SETBACK	20'-0"	47'-14" EXISTING	47'-15" EXISTING	NO CHANGE	CONFORMING
MIN SIDE SETBACK	15'-0" (corner) 15'-0"	12.6' EXISTING (S-W SIDE) 12.6' EXISTING (N-E SIDE)	12.6' NO CHANGE	12.6' NO CHANGE	CONFORMING
MAXIMUM BUILDING HEIGHT	2.5 STORIES	2.5 STORIES	NO CHANGE	NO CHANGE	CONFORMING
MIN FRONT SETBACK	25'-0"	104.20' PREVIOUSLY EX	115.14' PROPOSED	115.14' PROPOSED	CONFORMING
MIN REAR SETBACK	5'-0"	94.66' PREVIOUSLY EX	5'-0' PROPOSED	5'-0' PROPOSED	CONFORMING
MIN SIDE SETBACK	5'-0"	4.65' PREVIOUSLY EX	5'-0' PROPOSED	5'-0' PROPOSED	CONFORMING
MAXIMUM BUILDING HEIGHT	1 STORIES	1 STORIES PRESUMED	1 STORIES PROPOSED	13.0' PROPOSED MAX	CONFORMING
MAX BUILDING COVERAGE	30% OR 3221.4 SF	11.12% OR 1226 SF*	22.1% OR 2508 SF**	22.1% OR 2508 SF**	CONFORMING*
MAX LOT COVERAGE	60% OR 6543.9 SF	32.1% OR 3516 SF*	50.1% OR 5456 SF**	50.1% OR 5456 SF**	CONFORMING*

NOTE: THIS PROJECT INCLUDES THE CONVERSION OF AN EXISTING TWO FAMILY RESIDENCE INTO A MIXED USE BUILDING WHICH IS TO INCLUDE A FIRST FLOOR PROFESSIONAL OFFICE USE WITH A SECOND FLOOR PROFESSIONAL OFFICE AND A NEW GARAGE ACCESSORY BUILDING WITH 1 OFFICE + 1 DWELLING UNIT.

PARKING REQUIREMENTS:
PROVIDE 2 PARKING SPACES PER DWELLING UNIT PER ZONING ORDINANCE PROVIDE 1 SPACE PER 300 SF OF GFA FOR EMPLOYEE AND PATRON USE AREAS
NUMBER OF DWELLING UNITS = 1 X 2 SPACES / UNIT = 2 SPACES REQUIRED
AREA OF GFA FOR EMPLOYEE AND PATRONS = 1236.4 / 300 SF PER SPACE = 2.45 SPACES REQUIRED
TOTAL SPACES REQUIRED = 5 TOTAL SPACES PROVIDED = 10 1/2 IN GARAGE + 1 OFF-STREET + 1 HA. PARKING SPACE)

EXISTING PROPOSED

* REFER TO CIVIL ENGINEERING DRAWINGS BY OTHERS FOR ADDITIONAL ZONING TABLE INFORMATION AND FOR LOT COVERAGE CALCULATIONS AND SUMMARIES



NOTE: THIS IS NOT A SURVEY. ARCHITECTURAL SITE PLAN IS BASED ON A SURVEY PREPARED BY DAVIS AND DAVIS ENGINEERS, PROFESSIONAL ENGINEERS & LAND SURVEYORS, WALL, N.J. DATED FEBRUARY 4, 2014

CONCEPT ARCH SITE PLAN
SCALE: 1" = 10'-0"



Daniel Lynch, R.A.
N.J. Architect No. A117862
N.Y. Architect No. 033641-1
NCARB Reg. No. 662271
CERT OF AUTH. No. 21AC00061000

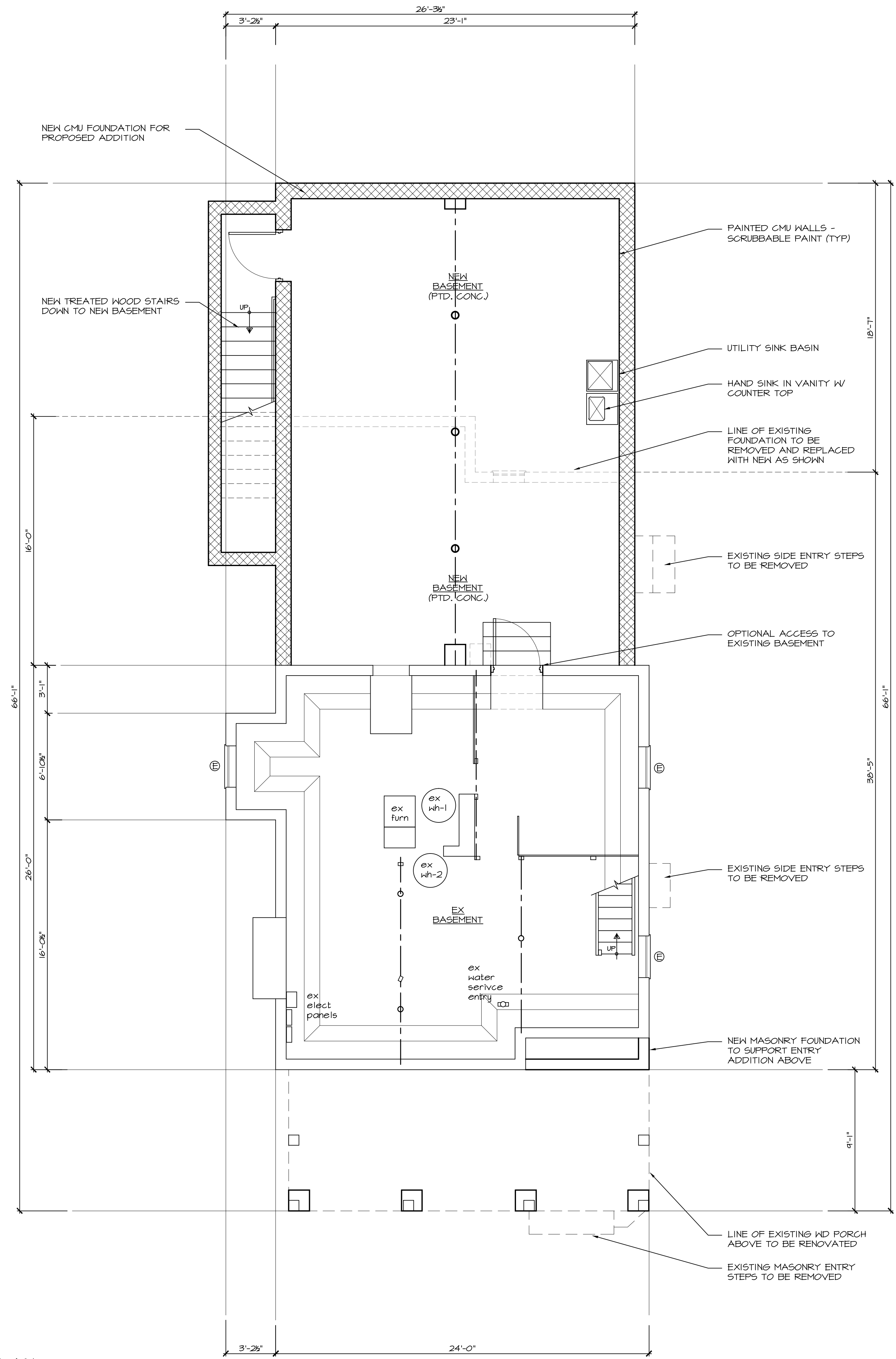
Original Raised Seal
Signature: [Signature]
Date: 6.17.2020

Revisions	By	Date
client review	DL	4.9.19
parking & hvac	DL	10.20.19
omit gar apt	DL	11.05.19
move gar & civ	DL	1.13.2020
coord landscape buffer	DL	1.25.2020

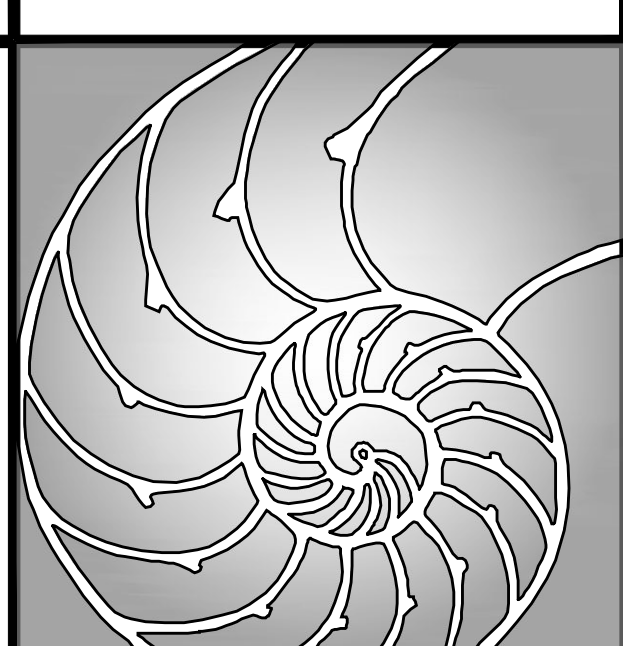
Addition and Alterations for
43 Taylor Avenue
Lot: 13 Block: 62
Manassan New Jersey

Project: CONCEPT SITE PLAN
Scale: AS NOTED
Sheet No: **ASP1.0**
Project No: 19-013

Do Not Scale The Drawings
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FOUNDATION / BASEMENT PLAN
 SCALE: 1/4" = 1'-0"



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 N.J. Architect No. A117862
 N.Y. Architect No. 033641-1
 NCARB Reg. No. 66227
 CERT OF AUTH. No. 21AC00061000

Original Raised Seal

 Signature Date
 6.17.2020
 6.15.20

Project Date
 August 1, 2019

Revisions	By	Date
client review	DL	4.9.19
parking & hvac	DL	10.20.19
omit gar apt	DL	11.05.19
zba set- notes added	DL	6.15.20

Addition and Alterations for
43 Taylor Avenue
 Lot: 13 Block: 62
 Manasquan
 New Jersey

Project
 Sheet Title
 Foundation / Basement Plan

Scale	Drawn By
AS NOTED	DL
	CHK'd By
	DL

Sheet No.
A1.0

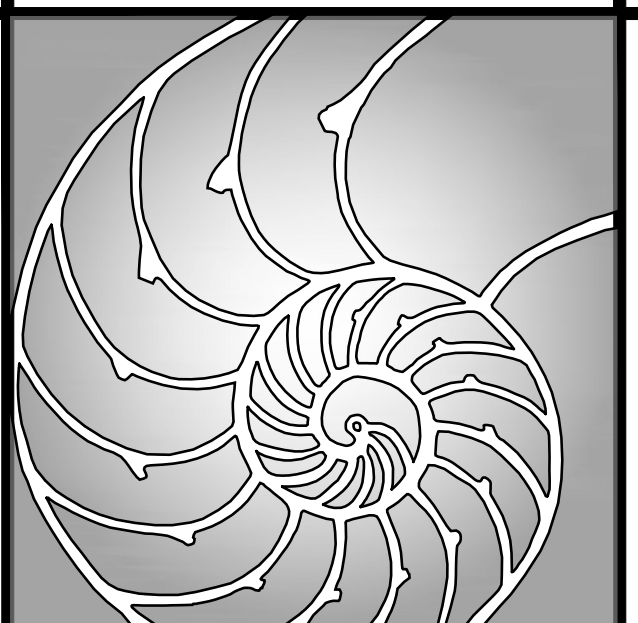
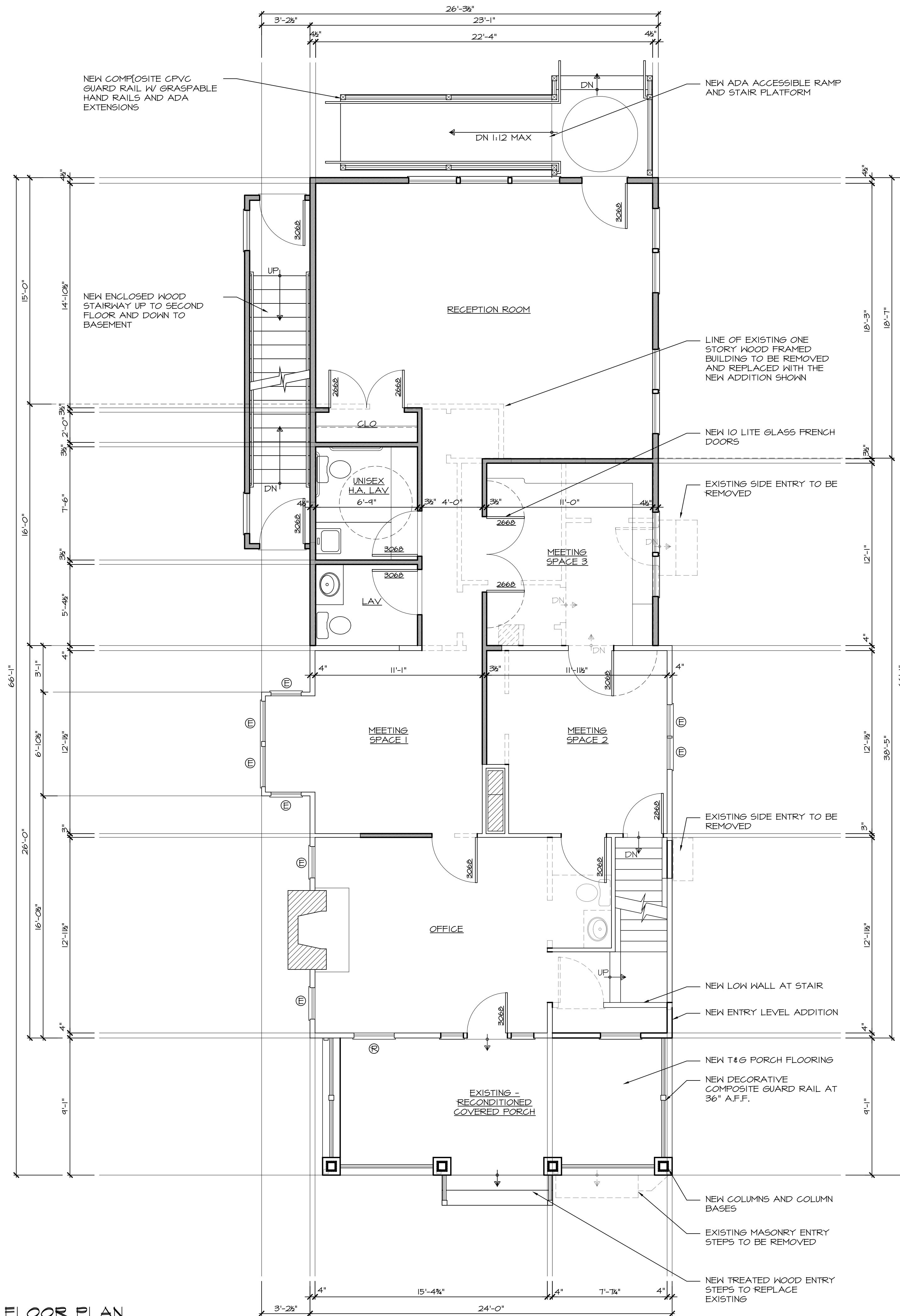
1 OF 5
 Project No.
 19-013

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FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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N.Y. Architect No. 033641-1
NCARB Reg. No. 66227
CERT OF AUTH. No. 21AC00061000

Original Raised Seal

[Signature]

6.17.2020
Date

Project Date
August 1, 2019

Revisions	By	Date
client review	DL	4.9.19
parking & hvac	DL	10.20.19
omit gar apt	DL	11.05.19
zba set- notes added	DL	6.15.20

Addition and Alterations for

43 Taylor Avenue

Lot: 13 Block: 62
Manasquan

New Jersey

Project
Sheet Title
First Floor Plan

Scale	Drawn By
AS NOTED	DL
	CHK'd By DL

Sheet No.
A1.1

2 OF 5

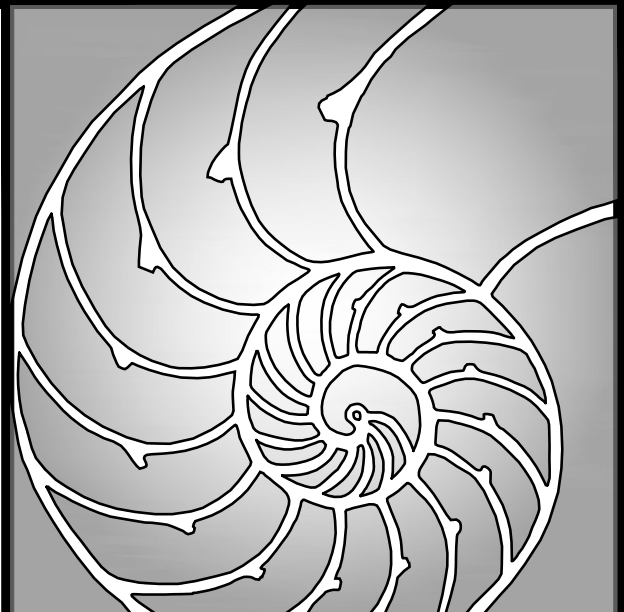
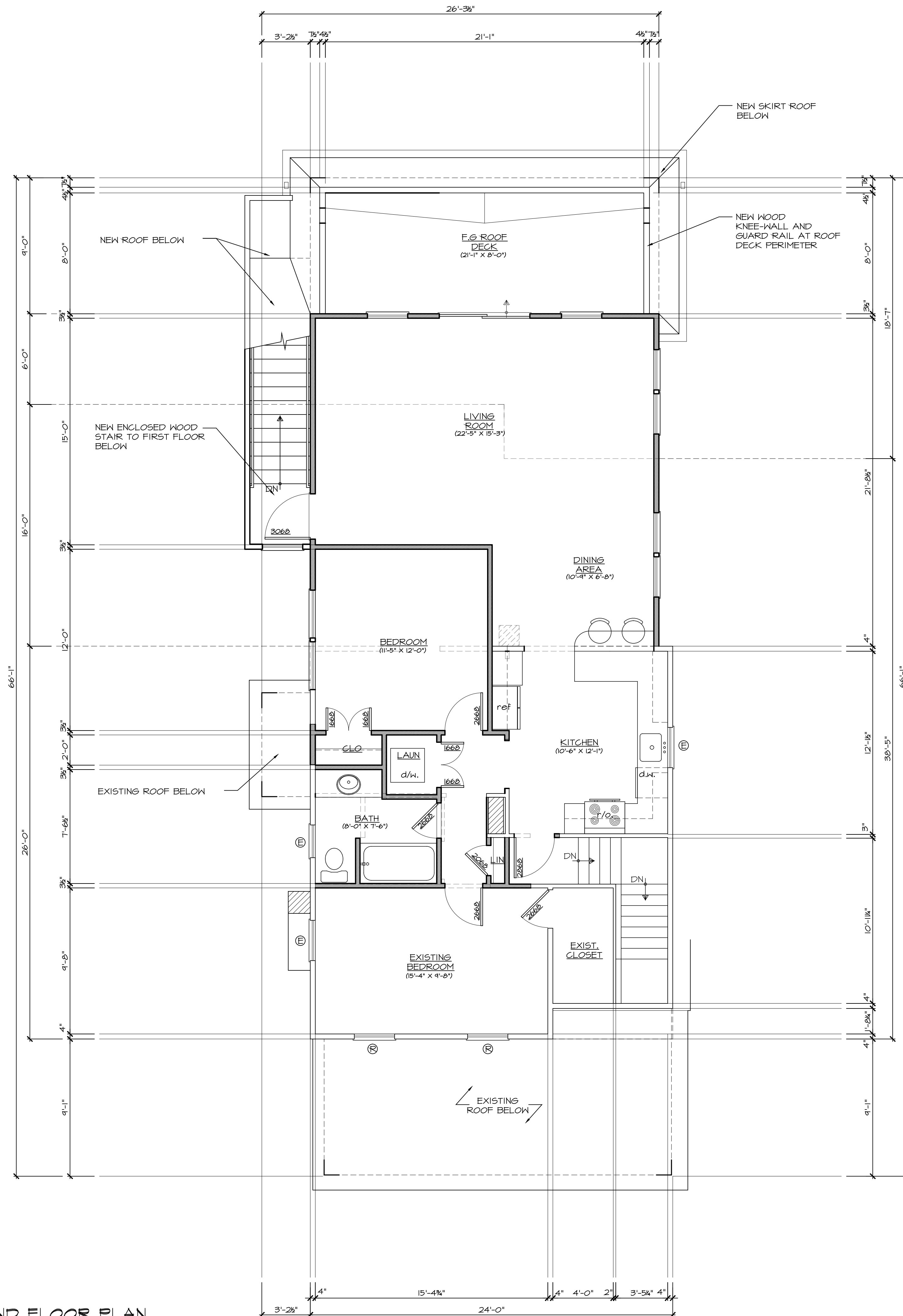
Project No.
19-013

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1 SECOND FLOOR PLAN
A1.2 SCALE: 1/4" = 1'-0"



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N.Y. Architect No. 033641-1
NCARB Reg. No. 66227
CERT OF AUTH. No. 21AC00061000

Original Raised Seal

6.17.2020
6.15.20
Date

Project Date
August 1, 2019

Revisions	By	Date
client review	DL	4.9.19
parking & hvac	DL	10.20.19
omit gar apt	DL	11.05.19
zba set- notes added	DL	6.15.20

Addition and Alterations for

43 Taylor Avenue

Lot: 13 Block: 62

Manasquan

New Jersey

Project

Sheet Title

Second Floor Plan

Scale

AS NOTED

Drawn By

DL

Chk'd By

DL

Sheet No.

A1.2

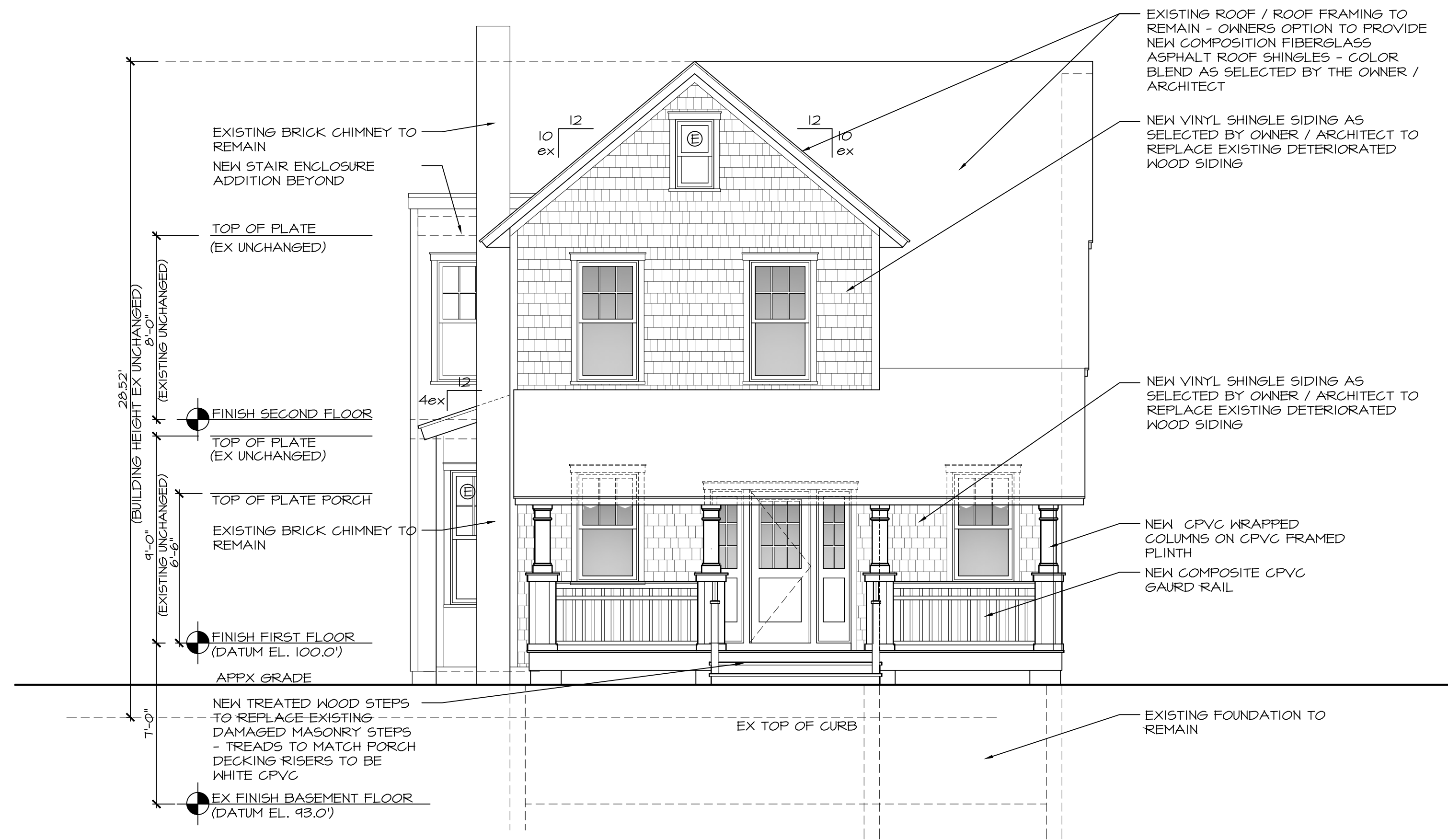
3 OF 5

Project No.

19-013

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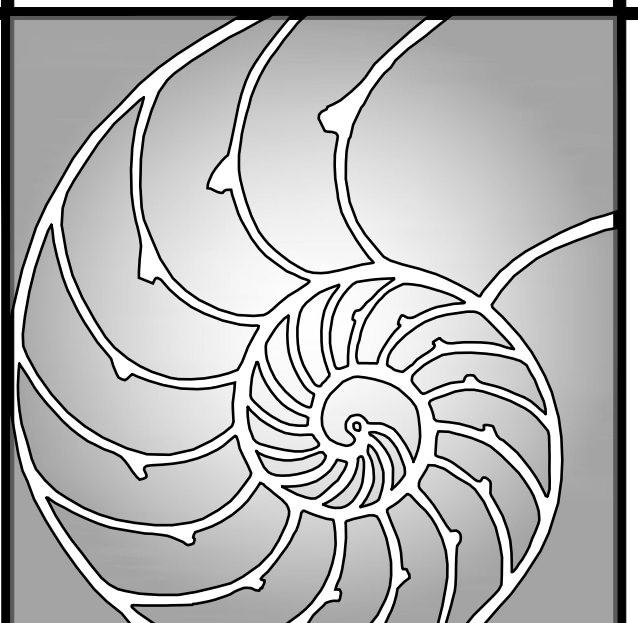
Do Not Scale The Drawings
 - The contractor is to field verify all dimensions prior to start of any work or construction.



1 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



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 N.Y. Architect No. 033641-1
 NCARB Reg. No. 66227
 CERT OF AUTH. No. 21AC00061000

Original Raised Seal

Signature: Daniel Lynch
 Date: 6.15.20

Project Date: August 1, 2019

Revisions	By	Date
client review	DL	4.9.19
parking & hvac	DL	10.20.19
omit gar apt	DL	11.05.19
zba set- notes added	DL	6.15.20

Addition and Alterations for

43 Taylor Avenue

Lot: 13 Block: 62

Manasquan

New Jersey

Project

Sheet Title: Elevations

Scale	Drawn By
AS NOTED	DL
	CHK'd By DL

Sheet No.

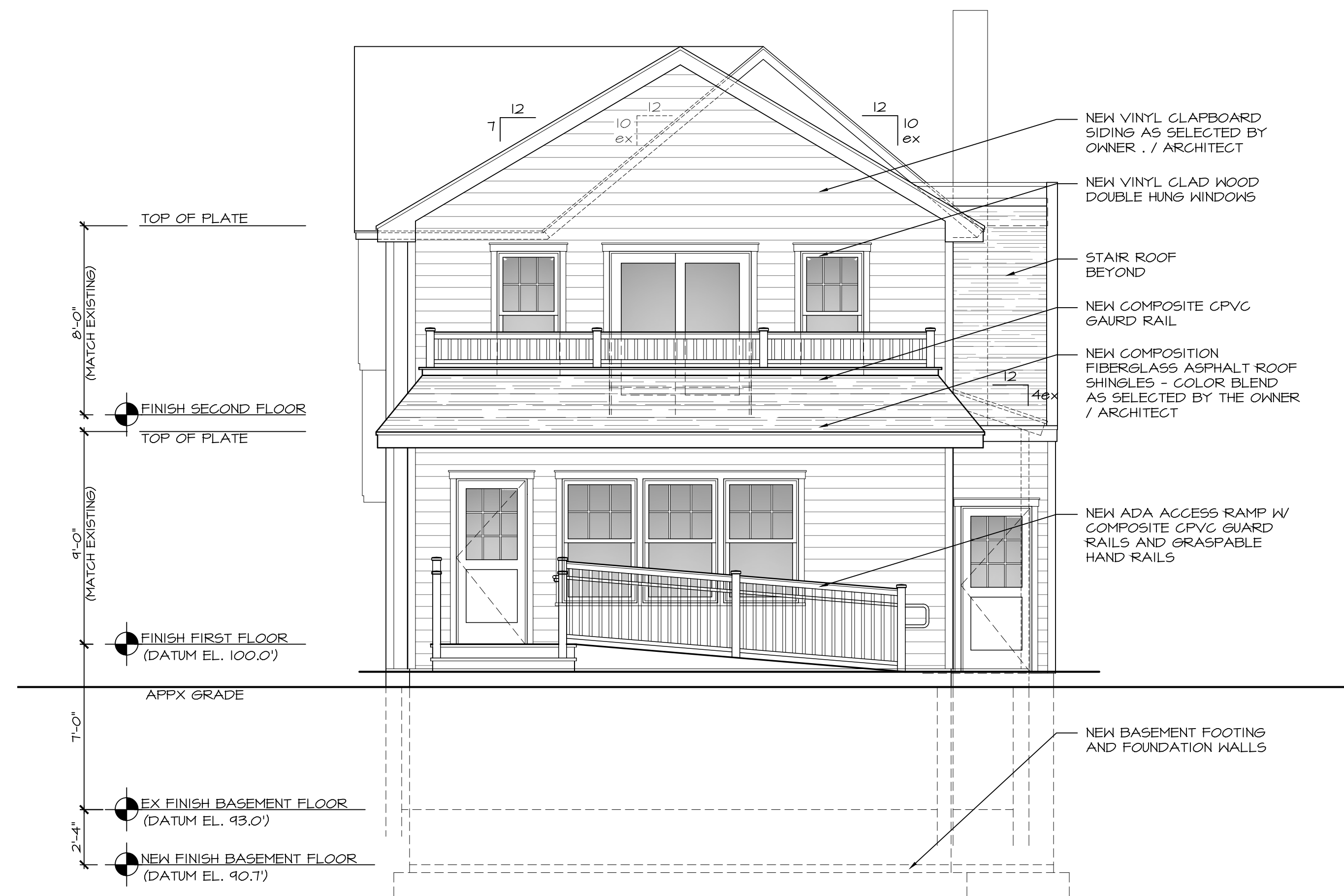
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4 OF 5

Project No. 19-013

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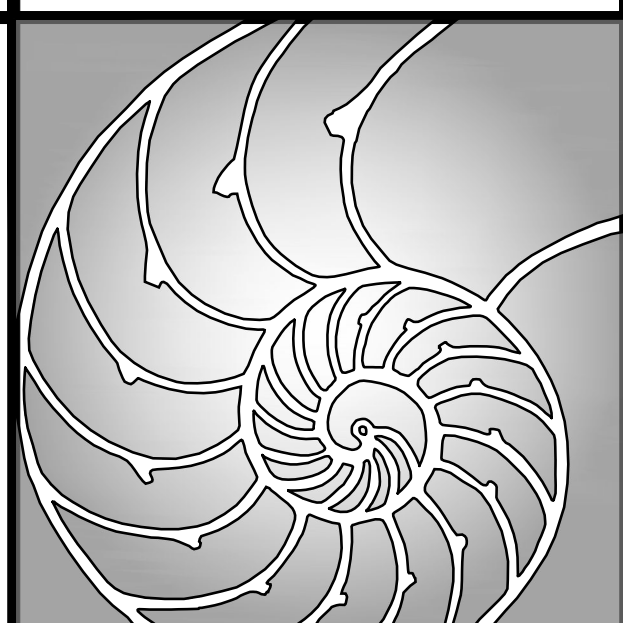
Do Not Scale The Drawings
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1 REAR ELEVATION
 SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"




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 N.Y. Architect No. 033641-1
 NCARB Reg. No. 66227
 CERT OF AUTH. No. 21AC00061000

Original Raised Seal



6.17.2020
6.15.20
Signature Date

Project Date August 1, 2019

Revisions	By	Date
client review	DL	4.9.19
parking & hvac	DL	10.20.19
omit gar apt	DL	11.05.19
zba set- notes added	DL	6.15.20

Addition and Alterations for
43 Taylor Avenue
 Lot: 13 Block: 62
 Manasquan
 New Jersey

Project Elevations
 Sheet Title

Scale AS NOTED	Drawn By DL
	Chk'd By DL

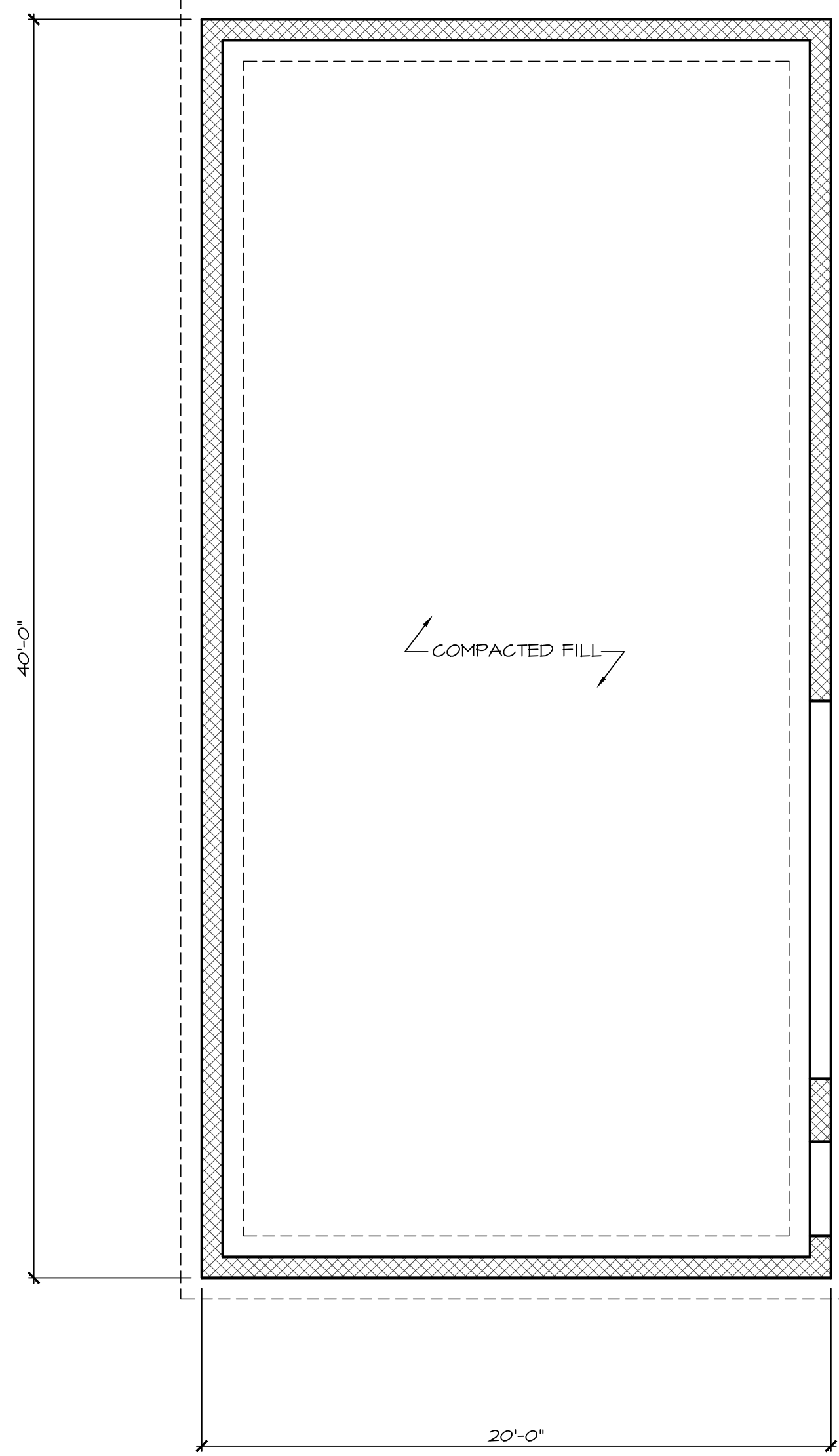
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5 OF 5
 Project No. 19-013

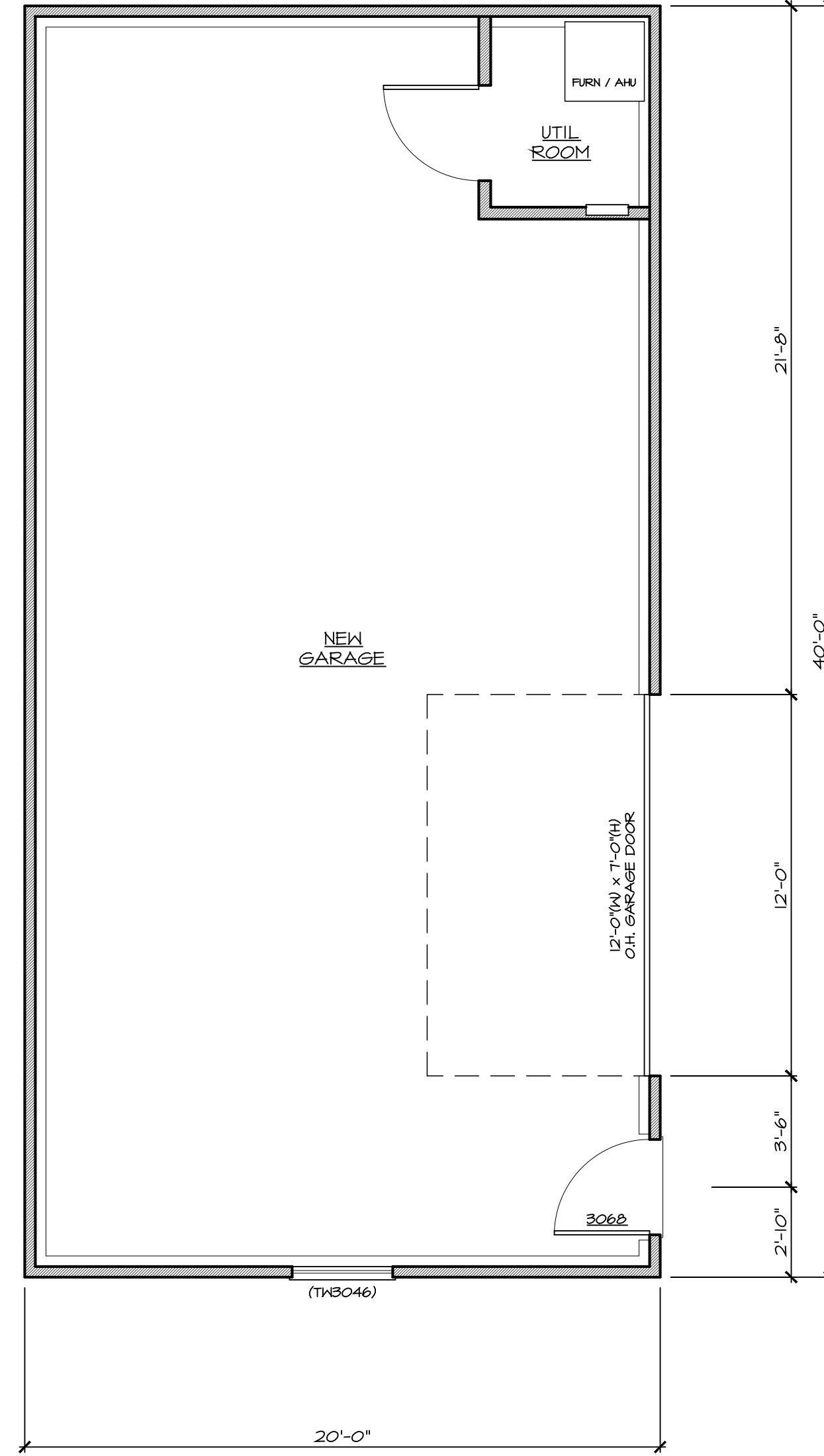
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1 GARAGE FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



2 GARAGE FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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N.J. Architect No. AI 17862
N.Y. Architect No. 033641-1
NCARB Reg. No. 66227
CERT OF AUTH. No. 21AC00061000

Original Raised Seal

Daniel Lynch
Signature Date
6.17.2020
9.9.19

Project Date
August 1, 2019

Revisions	By	Date
client review	DL	9.9.19
omit gar apt	DL	11.5.19
zba sets	DL	6.15.20

New Detached Garage for

43 Taylor Avenue

Lot: 13 Block: 62
Manasquan

New Jersey

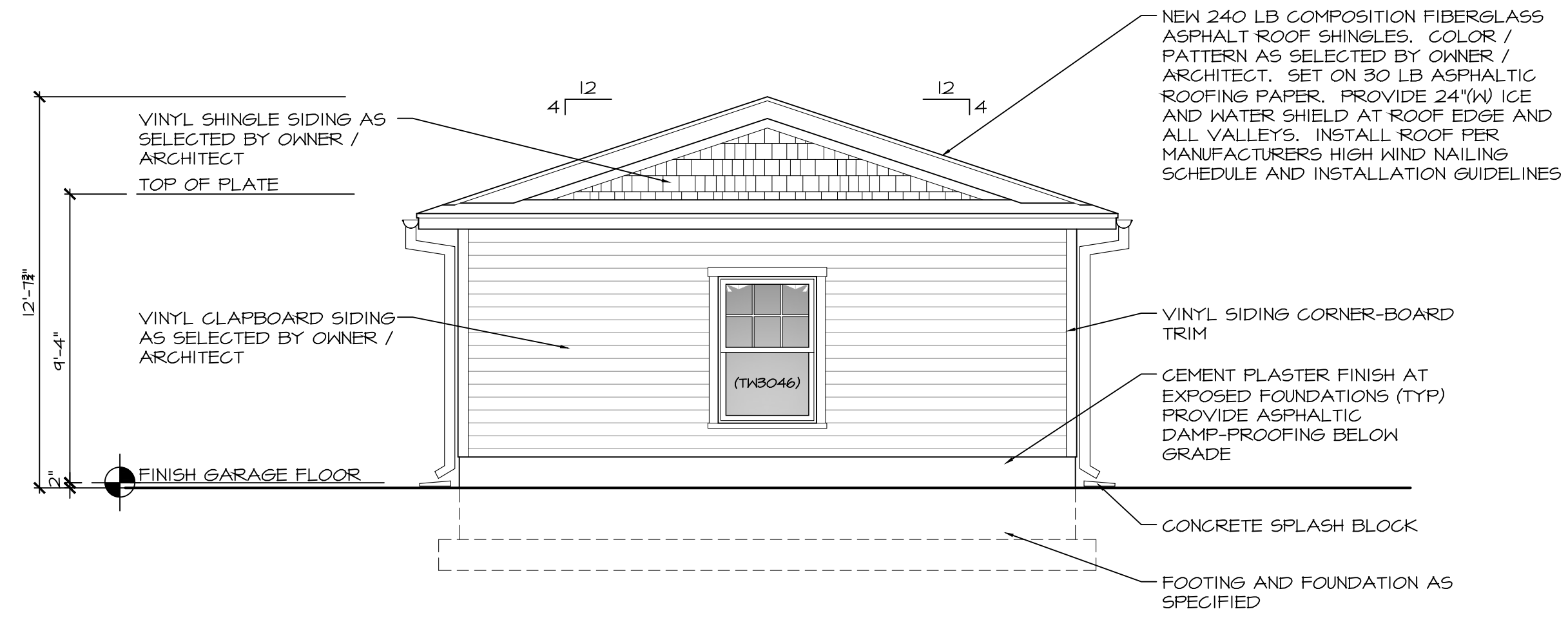
Project
Sheet Title
Garage Floor Plans

Scale	Drawn By
AS NOTED	DL
	CHK'd By DL

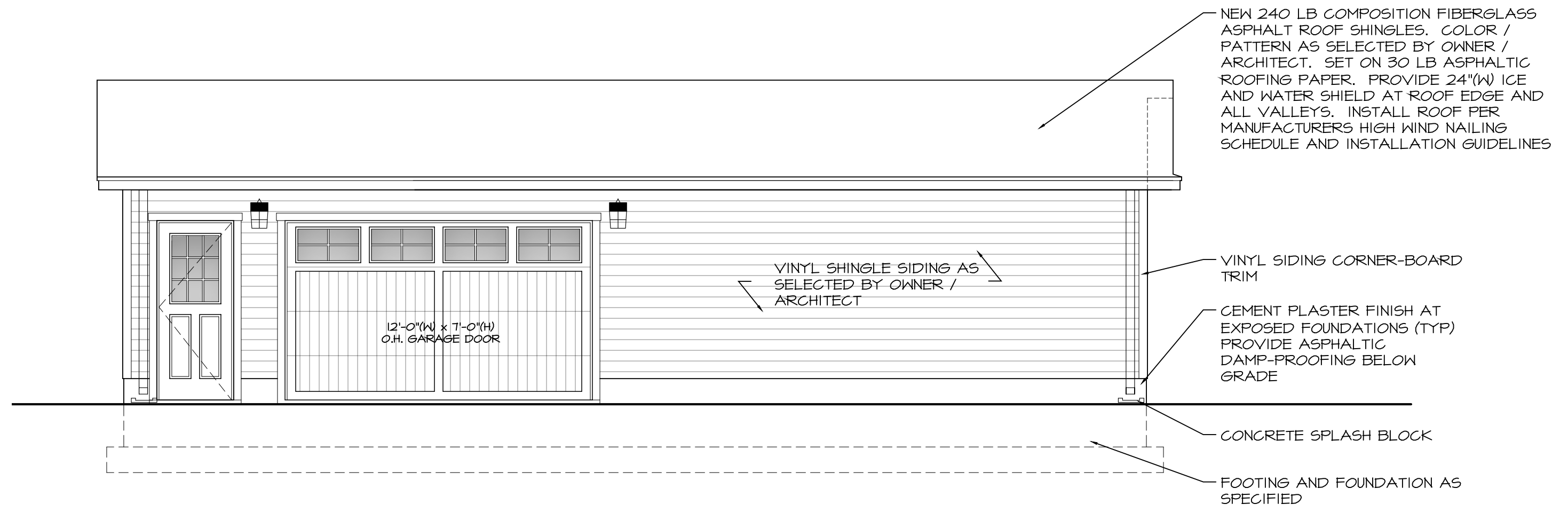
Sheet No.
G1.0
1 OF 2

Project No.
19-013

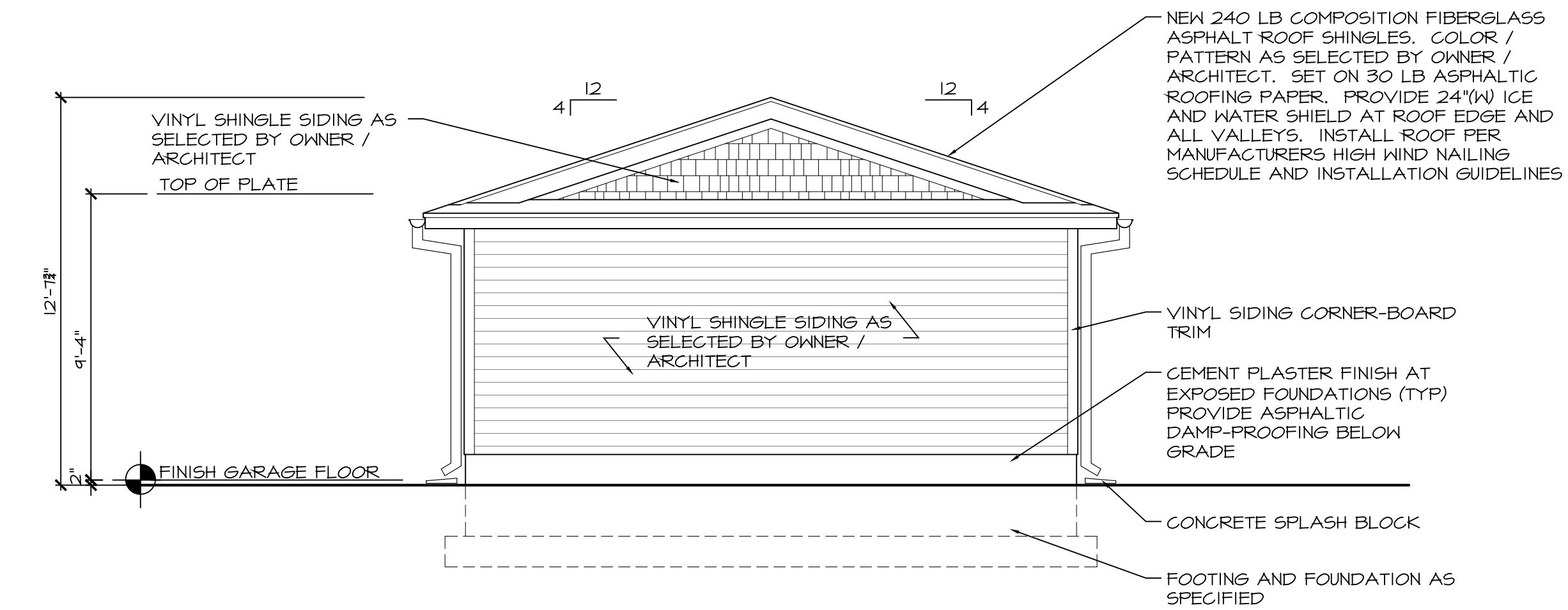
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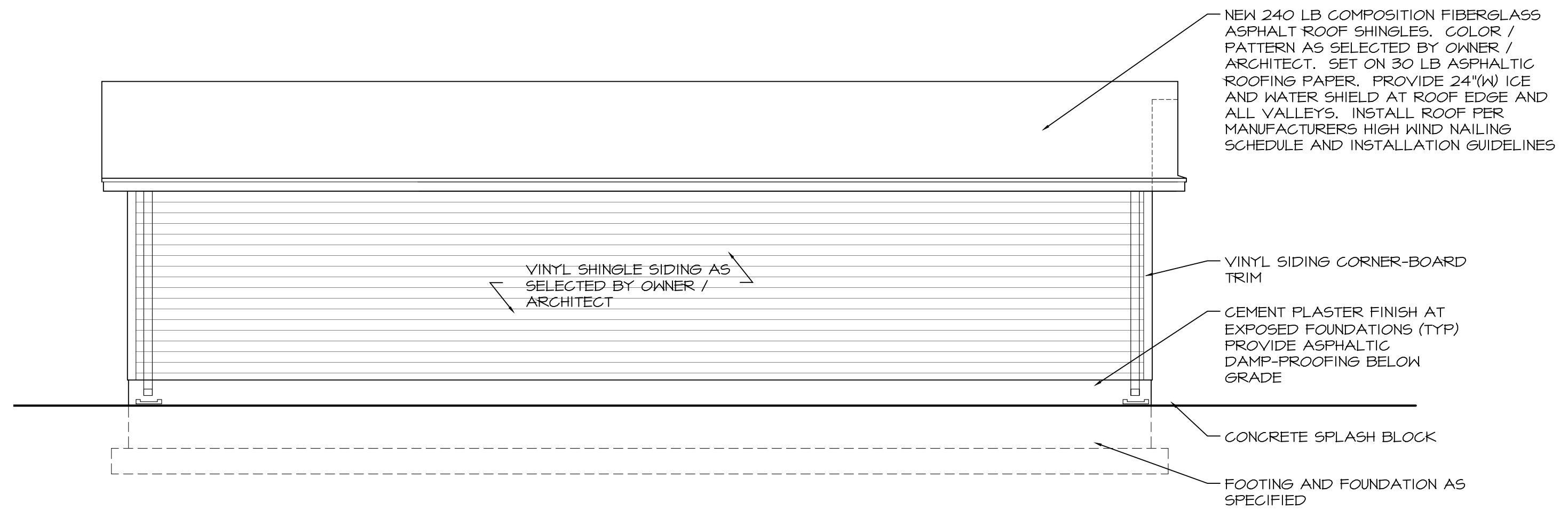
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



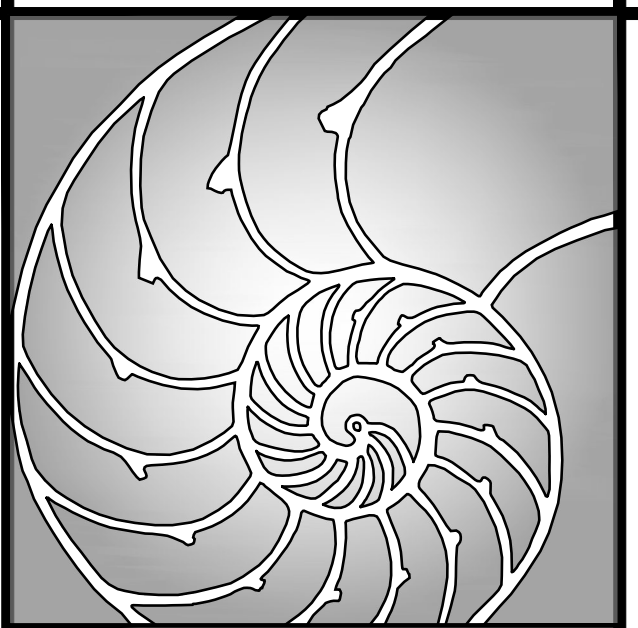
4 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



B.L.D.G
Architecture, LLC

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Daniel Lynch, R.A.
N.J. Architect No. A117862
N.Y. Architect No. 033641-1
NCARB Reg. No. 66227
CERT OF AUTH. No. 21AC00061000

Original Raised Seal

[Signature]
Signature
6.17.2020
9.9.19
Date

Project Date
August 1, 2019

Revisions	By	Date
client review	DL	9.9.19
omit gar apt	DL	11.5.19
zba sets	DL	6.15.20

New Detached Garage for

43 Taylor Avenue

Lot: 13 Block: 62
Manasquan

New Jersey

Project
Sheet Title
Garage Elevations

Scale	Drawn By
AS NOTED	DL
	CHK'd By DL

Sheet No.
G2.0
2 OF 2

Project No.
19-013

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736



732-223-0544
Fax 732-223-1300

FRANK F. DIROMA
Supervisor of Code Enforcement

ALBERT "SANDY" RATZ
Construction Official

February 11, 2020

David Vasilenko
36 Broad Street
Manasquan, NJ 08736

Re: Block: 62 Lot: 13 Zone: Office
43 Taylor Avenue

Dear Sir:

On this date we reviewed your revised application for the following project.

Convert the existing two family dwelling into an office use on the first floor and a residential use on the second floor, construct a two story rear addition and other interior alterations and renovations and construct a detached garage in the rear yard.

Revised survey prepared by Darren Ferwerda on November 5, 2019. Revised conceptual plans prepared by Daniel Lynch on January 25, 2020. Revised preliminary and final site plan prepared by Ray Carpenter on December 31, 2019. Revised plot plan prepared by Daniel Lynch on January 13, 2020.

Application denied for the following reason(s):

Section 35-5.12 – Office Zone – Permitted use – Office use or single family dwelling.
Proposed Office use on first floor and
single family dwelling on second floor.

Section 35-9.4 – Front Setback – 25ft. Required
16.67ft. Existing & proposed

Section 35-5.2b3 – Accessory Building (Garage) – Building coverage - 600s.f Permitted
800s.f. Proposed

Section 35-13.2 – Aisle Width – 24ft. Required
10ft. Existing


Section 35-7.73 – Requires that the driveway must be setback a minimum of 1 ft. from side property line.

Additional required documentation:

- Plot plan must show the removal of any tree(s) as part of the project.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

A handwritten signature in black ink, appearing to read "R. Furey". The signature is written in a cursive style with a large initial "R" and a long, sweeping underline.

Richard Furey
Zoning/Code Enforcement Officer